

COUNTY OF SAN LUIS OBISPO

THE LAND USE ELEMENT AND LOCAL COASTAL PLAN
OF THE SAN LUIS OBISPO COUNTY GENERAL PLAN

ESTERO AREA PLAN

PROGRAM CERTIFIED BY
THE CALIFORNIA COASTAL COMMISSION
FEBRUARY 25, 1988

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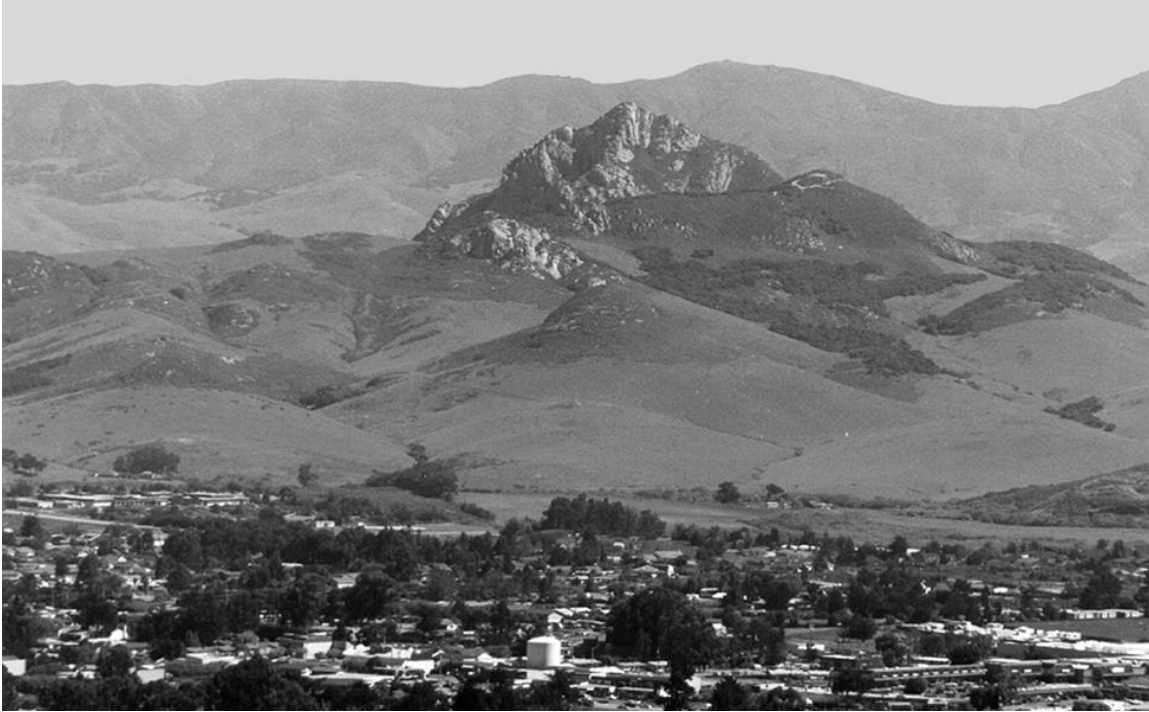
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November 7, 1995	Ord. 2720
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CHAPTER 1: INTRODUCTION AND GENERAL GOALS



I. PURPOSE OF THE ESTERO AREA PLAN

The purpose of this area plan is to establish a vision for the future of the Estero Planning Area that will guide development over the next 20 years. The vision described in this plan represents the desires of the affected communities, and the plan contains the policies, programs and standards to help achieve it. This plan is intended to be the community's plan and was developed with substantial community participation. Only with ongoing community involvement can we hope to successfully achieve the vision.

This area plan is consistent with the intent and policies of the California Coastal Act and the San Luis Obispo County Local Coastal Program (LCP). All other county plans, policies and programs that involve the Estero Planning Area and are subject to the LCP are to be consistent with and implement this plan. In addition, where applicable, all public and private development in this planning area is to be consistent with this plan. It should be recognized, however, that this plan is also subject to other authority; for example, federal and state statutes, case law, and regulations.

II. PHYSICAL CHARACTERISTICS

The Estero Planning Area is shown in Figures 1-1 and 1-2. It is one of four planning areas within the coastal zone and encompasses the central coastal area of San Luis Obispo County from Point Estero on the north to Point Buchon on the south. The boundary of the Estero Planning Area corresponds to the coastal zone boundary established by the California Coastal Act that was enacted in 1976. The planning area occupies a narrow strip along the coast north of the city of Morro Bay and south of the unincorporated community

of Los Osos. Elsewhere, the planning area extends as far as seven miles inland. It includes large portions of the Morro and Little Morro Creek watersheds on the north, a portion of the Irish Hills on the south, and a portion of Cuesta College on the east. The planning area includes the city of Morro Bay and the unincorporated communities of Cayucos and Los Osos.

The planning area (including the city of Morro Bay) occupies about 71.5 square miles. In addition to the Estero Planning Area, secondary study areas were considered in connection with preparing this area plan (see Figure 1-2). One such area was included in order to study the effects of the entire Morro Bay watershed on the Estero Planning Area, especially the Morro Bay estuary. That area includes portions of the Salinas River, San Luis Obispo and San Luis Bay Planning Areas and consists of about 27 square miles beyond the Estero Planning Area. The other secondary study area is the "Cayucos Fringe," which covers nearly 53 square miles surrounding Cayucos in the Adelaida Planning Area. The "Cayucos Fringe" was studied because that area has an effect on the Cayucos urban area, especially since it includes most of the watersheds that affect Cayucos. The "Cayucos Fringe" also includes scenic areas that are visible from the coast.

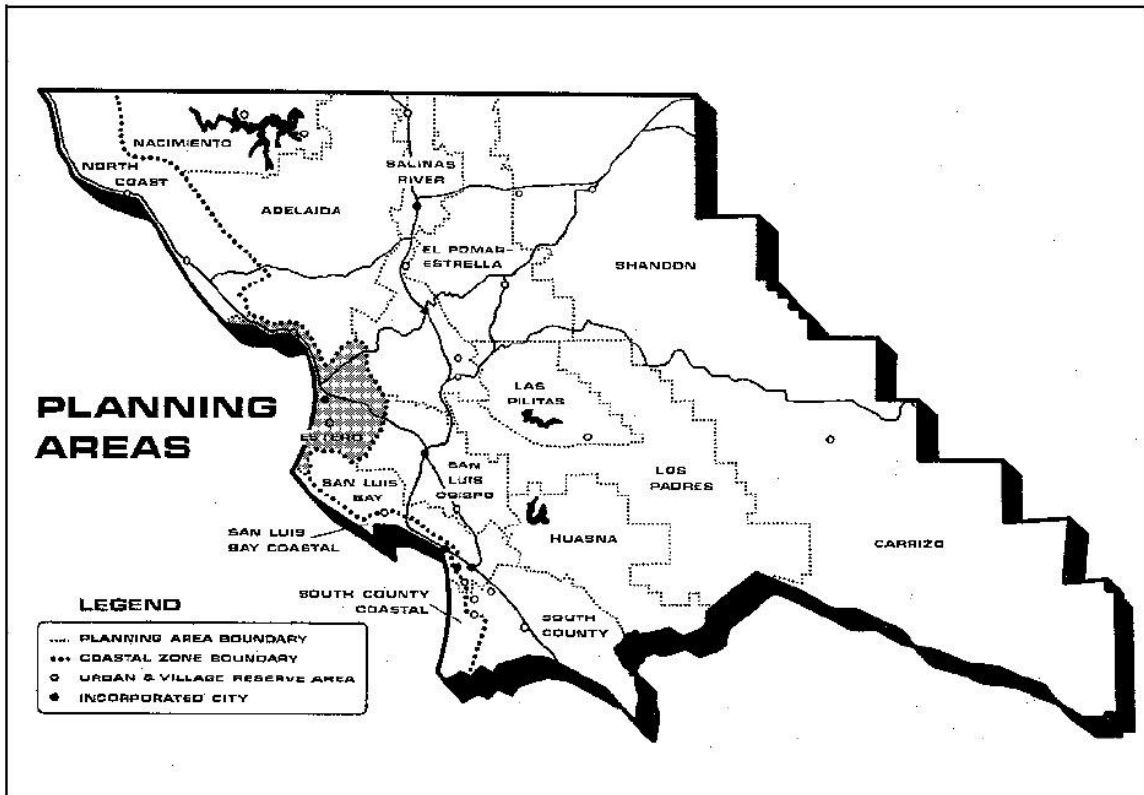


Figure 1-1: Estero Planning Area

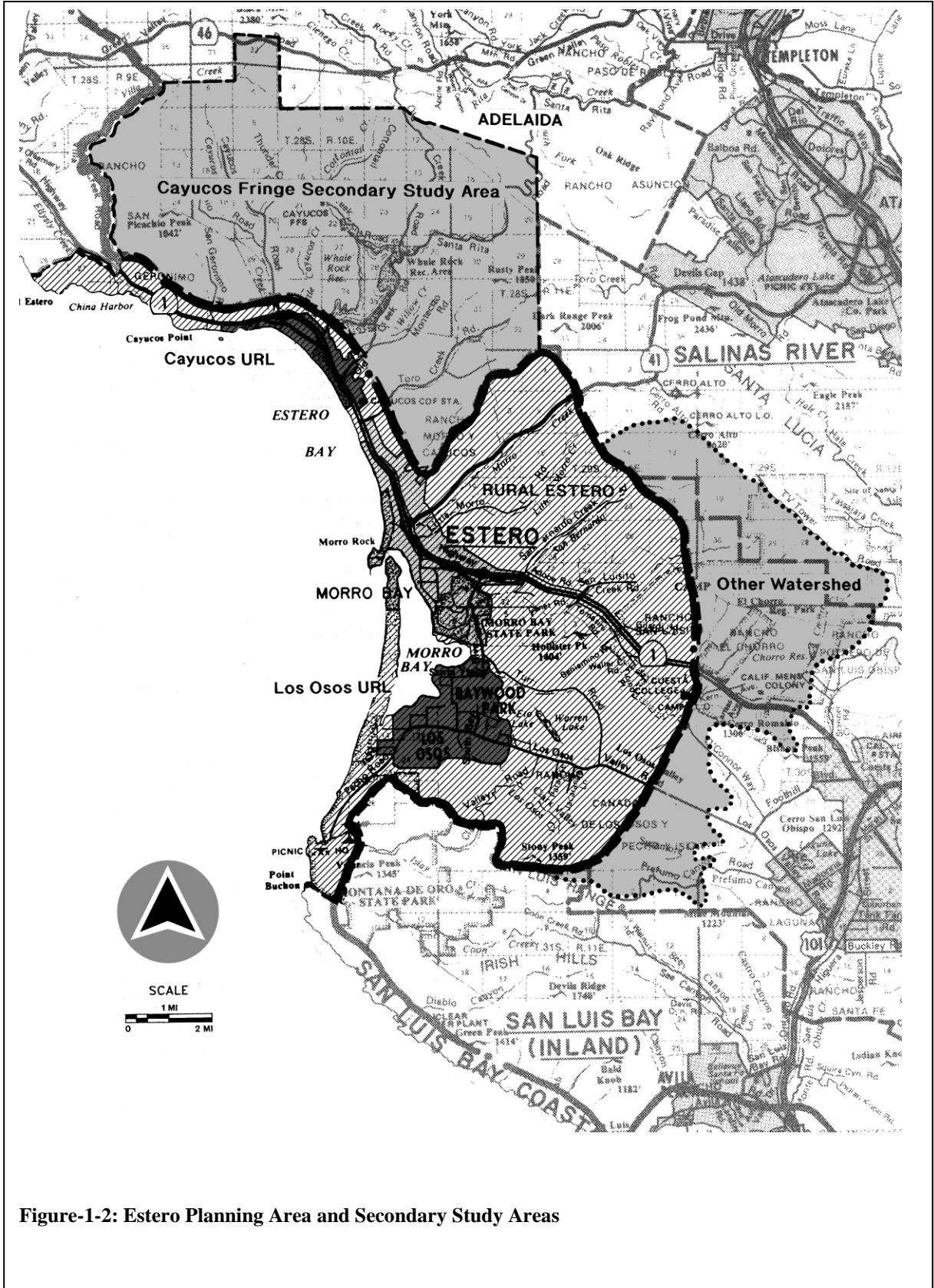


Figure-1-2: Estero Planning Area and Secondary Study Areas

III. NATURAL AND HUMAN RESOURCES

The Estero Planning Area contains a wealth of natural resources and environmental assets that define the character of the area, contribute to its high quality of life and are vital to the local economy. The following are examples of these resources:



Agriculture. Agriculture is the dominant land use in the planning area and is a cornerstone of the local economy. As an added benefit, agriculture provides scenic open space that is enjoyed by locals and tourists alike.



Morro Bay Estuary. This nationally recognized area of relatively pristine tidal lands and open waters supports abundant wildlife, provides recreation, supports visitor-serving businesses, and is essential to the health of the local commercial and sport fishing industries.



The Morros. This chain of volcanic peaks that separates the Los Osos and Chorro Valleys is a unique natural landmark and scenic wonder that supports agriculture and wildlife, and offers potential for recreational use.



Montana de Oro and Morro Bay State Parks and Beaches. These outstanding parks and recreation areas attract over 1.5 million visitors every year, many from all over the globe, to enjoy a variety of recreation and beautiful scenery (Source: State Department of Parks and Recreation).



Hillside and Creekside Areas Ringing Los Osos. These highly scenic, biologically rich areas surround Los Osos on the south, east and northeast,

In addition to the area's valuable natural resources, its human resources are essential to its future. The communities of Los Osos and Cayucos are fortunate to have active and effective community advisory committees, as well as many involved and talented people who care deeply about the future of their communities. The residents of Los Osos and Cayucos and surrounding areas are committed to making a better future, and they are among the area's greatest assets.

IV. OPPORTUNITIES

The area possesses scenic beauty, a mild coastal climate, and natural resources that contribute to a high quality of life. These assets also present opportunities to improve jobs and services for local residents, and to improve recreation and tourist-oriented uses for both locals and visitors.

V. VISION AND GENERAL GOALS

The following general goals provide the direction for the Estero Area Plan and the vision for the future of this area. These goals, together with policies, programs, standards, and other parts of the Land Use Element (LUE) and Local Coastal Program (LCP), constitute the plan for the Estero Planning Area for the next 20 years.

The goals are specific to the Estero Planning Area. They were developed by the public; primarily, the community of Cayucos. The goals are expanded on and implemented by the policies, programs and standards found in the following chapters. The goals are consistent with the countywide general goals of the Land Use Element found in Coastal Zone Framework for Planning, but further refine and elaborate on those countywide goals.

The goals also function as guidance to help determine consistency of development proposals with the LUE/LCP. New development should be located, designed, and built in a manner that furthers these general goals and complies with all other applicable regulations.

A. Planning Areawide

1. Provide maximum public access, and protect existing public access, to the coast, the shoreline, the bay, and public recreation areas, consistent with the need to protect natural and agricultural resources and private property rights.

B. Cayucos

The community of Cayucos has developed general community goals that were recommended by the Cayucos Citizens Advisory Council (CCAC) following public discussion. The following goals are based on CCAC's recommended goals, which are stated in their entirety in Appendix A. The goals encourage carefully planned development that respects the area's natural assets, maintains the community's small-town character as a beach community, and balances and promotes both the residential and visitor-serving aspects of the community.

Environment

1. Plan with consideration for preserving the natural environment of Cayucos. Protect the seashore, estuaries and coastal area with minimal impairment of physical and visual accessibility.
2. Protect ecological systems and wildlife habitats.
3. Plan for land use to take full advantage of the natural and agricultural assets of the area.

Residential and Commercial Land Uses

4. Preserve the character of Cayucos as a beach community.
5. Stress the residential nature of the community.
6. Provide for essential services.
7. Plan for the visitor-serving and residential features of the community to coexist in harmony and supplement each other. Emphasize both features of the community and promote their excellent potential.

8. Carefully plan for future commercial and residential development that is consistent with the current nature of the community. Since major development projects can have a devastating effect on a small community, carefully examine such proposed projects to see that they do not destroy the character of the community or so dominate it as to cause an imbalance between the residential and recreational elements of the community.
9. Maintain the community's small-town character.
 - a.
10. Protect and maintain maximum public access to and along the shoreline of Cayucos.

Compact Development

11. Focus on infill and mixed use development.
12. Create a greenbelt that forms a hard edge around the community and protects scenic qualities, agricultural resources and sensitive habitat.

C. Rural Area

Distribution of Land Uses; Open Space

1. Maintain agriculture and the rural character of the area.
 2. Permanently protect the agricultural, open space and scenic resources of the Morros.
 3. Prevent further urban and suburban encroachment into the Los Osos and Chorro Valleys in order to maintain valuable agricultural and open space resources.
 4. Preserve agriculture, open space and sensitive resources.
 5. Protect and enhance the watershed of the Morro Bay estuary so that the estuary is a clean, healthy, functioning ecosystem that harbors a diversity of wildlife.

VI. FEATURES OF THIS PLAN

A. Background Information

This plan provides information on land use, population, availability of resources and public services, and environmental characteristics. This information is the basis for many of the plan's recommendations and is current at the time of the last update.

B. Planning Policies

Chapters 2 through 6 and 8 contain the policies of this plan. The policies expand on and implement the goals in this chapter, providing further direction for the future of the Estero Planning Area. The policies, in turn, are implemented by programs and standards found in the following chapters (see following items C and D).

The policies also function as guidance to help determine consistency of development proposals with the LUE/LCP. New development needs to be located, designed, and built in a manner that furthers these policies and complies with all other applicable regulations.

C. Planning Programs

Proposed programs are listed at the end of the following chapters: Population and Economy (Chapter 2); Public Facilities, Services and Resources (Chapter 3); Land Use Programs and Policies (Chapter 4); Circulation Element (Chapter 5); Policies and Programs for Special Features (Chapter 6); and Coastal Access (Chapter 8). Programs are non-mandatory actions. They may be initiated by the communities, the county or other agencies in order to correct or improve local problems or conditions, and to otherwise help implement the goals and policies of this plan. Since many recommended programs involve public expenditures, their initiation depends upon availability of funding.

D. Planning Area Standards

Specific development standards are included in Chapter 7, Planning Area Standards, to address special conditions in the communities and help implement the goals and policies of this plan. The planning area standards deal with land use, public services, circulation, sensitive and scenic resources, and natural hazards (the latter two are combining designations). The standards provide criteria for detailed evaluation of development projects. Compliance with the standards is mandatory. The text of this plan may also be used as a basis for evaluating proposed development and subdivision applications.

E. Guidelines

In addition to planning area standards, Chapter 7 includes guidelines that provide further direction on how to implement the goals and policies of this plan. Guidelines are advisory, but are to be used in evaluating projects subject to discretionary review. However, alternative approaches that achieve the same or better results may also be used. The guidelines in this plan generally deal with design issues; for example, design guidelines for residential development in Cayucos.

F. Resource Management

Chapter 3, Public Facilities, Services and Resources, describes the existing and future status of water supply, sewage disposal, schools, roads/circulation, air quality, and other public services. Included are estimates of population thresholds at which potential resource capacity problems may occur.

G. Area Plan Maps

Due to limitations of scale, the fold-out maps in this plan are for reference purposes only. The official maps are at the more suitable scale of 1" = 400 feet (urban areas) and 1" = 1,000 feet (rural areas). Those maps are available at the County Department of Planning and Building.

Land use and combining designation maps are shown following Chapter 7, and the circulation maps are at the end of Chapter 5. They illustrate the following:

Land Use Categories determine the uses that are allowable on a piece of property, including density and intensity of development.

Combining Designations identify areas of hazards, sensitive resource areas, environmentally sensitive habitats, visitor-serving priority areas, historic and archaeologically sensitive areas, energy and mineral resources, and public facilities. The combining designations do not map all such areas; for example, existing areas of sensitive resources and environmentally sensitive habitats. Areas having such resources and habitats shall be treated as if they were included in the Sensitive Resource Area/Environmentally Sensitive Habitat combining designation (see the areawide standards for resource protection in Chapter 7, Section IIIA).

Circulation consists of roads, bikeways, pedestrian and equestrian facilities, and coastal access.

Maps illustrating the locations of coastal access are included in Appendix D.

VII. RELATIONSHIP OF THE ESTERO AREA PLAN TO THE LOCAL COASTAL PROGRAM.

A. Introduction

The following provides a brief outline of relative state and local provisions guiding the preparation and update of the Estero Area Plan.

B. State Law - Zoning and Planning

Key provisions from the California Government Code and California Coastal Act guide the preparation and adoption of local plans.

1. The California Government Code. The Government Code guides the preparation and adoption of general plans, zoning ordinances, and regulations for subdivision and

environmental review. The Code establishes mandatory elements of the general plan, and various content and procedural requirements.

2. **The California Coastal Act.** Policies in the California Coastal Act of 1976 guide the conservation and development of California's 1,100 mile coastline with the goal of protecting California's coastal resources and providing for their wise use. The Act establishes the California Coastal Commission as a permanent state coastal management and regulatory agency and requires each of the state's coastal cities and counties to adopt a long-term management plan, known as a Local Coastal Program. Each Local Coastal Program consists of a land use plan, zoning ordinances and other implementing actions. The Act also requires "maximum public participation" in the preparation of proposed plans.

Key Policy sections include Public Access, Recreation, Marine Environment, Land Resources, Development and Industry. These policies function as criteria for finding consistency of both development and local coastal plans with the Coastal Act.

C. County Organization of the Local Coastal Program (LCP)

The LCP is part of the county general plan and zoning ordinance, and applies to those areas lying within the Coastal Zone. Consistent with State law, the county's Local Coastal Program also functions as the mandatory Circulation Element and Land Use Element of the General Plan.

1. **The LCP Policy Document.** The Local Coastal Program Policy document contains 13 chapters that respond to policies from the California Coastal Act. They are: Shoreline Access, Recreation & Visitor Serving, Energy & Industrial Development, Commercial Fishing, Environmentally Sensitive Habitats, Agriculture, Public Works, Coastal Watersheds, Scenic Resources, Hazards, Archaeology, and Air Quality. Each chapter discusses the relationship to Coastal Act policies and issues, and formulates locally-based policies that implement the Act.
2. **Framework for Planning.** Framework for Planning serves as an organizational document linking land use, resource management, and circulation. It also provides general goals for county decisions on land use, development, and circulation. A key part is Coastal Table O - Allowable Land Use Chart that shows what land uses are allowable in each of the 13 different land use categories.
3. **Coastal Zone Land Use Ordinance (CZLUO).** The CZLUO contains provisions typically found in zoning ordinances. They include permit and appeal requirements, site design, development and operational standards, and enforcement.
4. **The Area Plans.** The area plans provide goals, objectives, policies, programs, and standards unique to each area. The Coastal Zone of San Luis Obispo County is divided into four areas: North Coast, Estero, San Luis Bay, and South County. Community plans may also be adopted as a component of an area plan, in order to focus specifically on an urban or village area (e.g., Avila Beach Specific Plan). The Los Osos Community Plan, however, is actually a separate document that is not a certified component of the Estero Area Plan or LCP, but does provide helpful background information on Los Osos issues and demographics. The area plans (and related

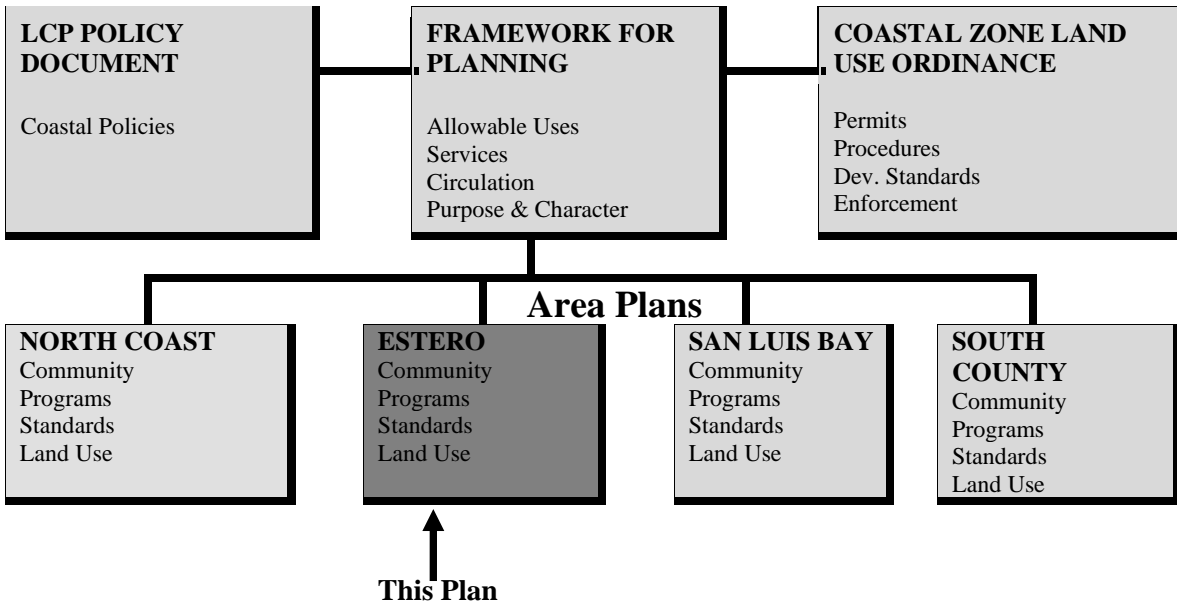
community plans) work with the other elements of the LCP and the county general plan. Key provisions found in the area plans are land use maps, programs, and standards that guide development. In addition, standards guide resource management, conservation, environmental protection, and community character.

Relationship of Estero Area Plan to LCP and State Law

State Law – Planning and Zoning



County of San Luis Obispo Land Use Element and Local Coastal Program



CHAPTER 2: ECONOMY AND POPULATION



I. ECONOMY

A. Existing Situation

The area's economy is fueled primarily by income from jobs located in other communities. Los Osos and Cayucos are "bedroom communities," since roughly 85 to 90 percent of their workers commute to jobs in other communities (see Table 2-1, Place of Work: Workers 16 Years and Over). Although the city of Morro Bay provides some employment for local residents (and contributes significantly to the area's economy), a large percentage of local workers find employment in the San Luis Obispo area.

Los Osos and Cayucos have businesses that provide retail and service uses to local residents, but lack major employers, large-scale manufacturing and industrial uses (the employment of residents by industry is shown in Table 2-2). In Los Osos, although there are many tourist attractions in the area, there are currently few visitor-serving businesses. In Cayucos, this sector of the economy is more important. In both communities, the commercial sectors are currently under-developed compared to nearby incorporated cities, and residents are spending much of their money outside of the planning area. In the rural areas outside of Los Osos and Cayucos, most economic activity is related to agriculture.

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The city of Morro Bay, located on the north side of Morro Bay, is the recognized visitor-serving center. The economy of the city of Morro Bay is primarily oriented to the strong attraction of tourism/recreation activities and the desirability of the area as a place of retirement. The city also serves as a place of residence for persons employed in other communities, particularly San Luis Obispo.

Los Osos has long been considered highly attractive to permanent and temporary residents alike. The mild climate and slow pace of the "rural-like" setting, coupled with closely surrounding natural areas, contribute to its attractiveness. In addition, Los Osos' proximity to the major employment centers of the county and a relatively high proportion of retired persons make possible a viable community without major growth in its economic base. Other important factors historically have been the availability of relatively inexpensive land and low property taxes. These characteristics however, are in the process of change to a point where low land costs and taxes are diminishing along with their growth-inducing implications.

Table 2-1: Place of Work: Workers 16 Years and Over

Place of Work	Cayucos		Los Osos	
Within Community of Residence	179	13.3%	718	10.5%
Outside Community of Residence	1,171	86.7%	6,112	89.5%
Total	1,350	100.0%	6,830	100.0%
¹ Figures are estimates calculated by adding numbers of workers Who travel less than 5 minutes to work and numbers of residents working at home.				
Source: 2000 Census of Population and Housing				

Table 2-2: Employment of Civilian Residents Aged 16 and Over by Industry¹

Industry	Cayucos		Los Osos		County²	
Retail Trade	80	5.7%	720	10.4%	13,561	12.4%
Educational, Health, and Social Services	252	18.1%	1728	24.9%	23,923	21.8%
Construction	184	13.2%	407	5.9%	8,642	7.9%
Professional, Scientific, Management, Administrative, and Waste Management Services	99	7.1%	808	11.7%	10,336	9.4%
Public Administration	55	3.9%	584	8.4%	6,770	6.2%
Finance, Insurance, Real Estate, and Rental and Leasing	76	5.5%	392	5.7%	5,545	5.1%
Manufacturing	67	4.8%	502	7.2%	7,772	7.1%
Agriculture, Forestry, Fishing, Hunting, Mining	71	5.1%	103	1.5%	4,134	3.8%
Information	33	2.4%	269	3.9%	2,907	2.7%
Other Services (except Public Administration)	77	5.5%	397	5.7%	5,883	5.4%
Wholesale Trade	54	3.9%	131	1.9%	2,721	2.5%
Transportation and Warehousing, Utilities	87	6.2%	227	3.3%	4,975	4.5%
Arts, Entertainment, Recreation, Accommodation, and Food Services	259	18.6%	663	9.6%	12,500	11.4%
Total	1,394	100.00	6,931	100.00	109,669	100.00
¹	This table shows the employment of residents within Cayucos and Los Osos, not the jobs within those communities. For example, a resident of Los Osos who works in the retail trade industry in San Luis Obispo is counted as an employed person living in Los Osos.					
²	Refers to all of San Luis Obispo County, including incorporated cities.					
Source: 2000 Census of Population and Housing						

B. Future Opportunities

Both Los Osos and Cayucos have many attributes that are conducive to economic development. The communities are located in beautiful natural settings with mild, coastal climates and a high quality of life. Major tourist attractions such as Montaña de Oro and Morro Bay State Parks and the Cayucos area beaches draw over 1.5 million visitors per year.

In addition to its natural assets, Los Osos and Cayucos offer several other advantages for businesses looking to locate in the area. For example, the potential work force is attractive to business, as the general level of education of residents in Los Osos and Cayucos is higher than that for residents of the county as a whole (*2000 Census of Population and Housing*). Businesses should also find the lower housing prices in

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Los Osos compared to the cities of Morro Bay and San Luis Obispo a definite advantage. These advantages, together with the area's high-quality environment, are becoming increasingly more important considerations for businesses. With continuing advances in telecommunications, many businesses and industries no longer need to locate in traditional locations near major transportation facilities and markets, and instead are freer to locate in areas that offer qualities like those found in the Estero Planning Area.

Updated information regarding the community of Los Osos can be found in Appendix C of the Los Osos Community Plan.

Cayucos

In Cayucos, there are opportunities to improve the local economy through carefully planned commercial, visitor-serving and residential development that is consistent with the current nature of the community as a small-town beach community. Both the residential and visitor-serving aspects of the economy should be emphasized, and a balance should be struck between these uses.

In the city of Morro Bay, it is anticipated that tourism will continue to be reinforced through development of the harbor, waterfront and tourist facilities. It is expected that the city's economy will remain highly dependent on tourism.

C. Goals and Policies

Improving the economic climate of the planning area is a key part of maintaining a high quality of life. This can be achieved if certain steps are taken to diversify the economy, provide additional employment opportunities, and generally encourage business and economic development. The following goals and policies are intended to instigate activities both within and outside of the context of this area plan.

Goals For Entire Planning Area

1. Encourage economic development that will generate local employment for residents, create an adequate supply of goods and services locally, help generate revenues to fund needed public services and facilities, and make the area more economically self-sufficient.
2. Provide sufficient areas for a variety of commercial, tourist-serving and employment-generating businesses to provide jobs for residents, generate local business activity, increase taxable sales and reduce loss of such sales to other areas, and increase transient occupancy and property tax revenues.
3. Maintain a strong agricultural sector of the economy by offering incentives and positive county programs that support agriculture.
4. Take advantage of the planning area's scenic beauty and recreational attractions to expand tourist and visitor-serving development where appropriate such as a golf course; small-scale resort/retreat; visitor accommodations; bicycle, hiking and equestrian trails; and low-cost recreation.

5. Promote both visitor-serving development and development that serves local residents, while maintaining the small-town, rural character of the area's communities.
6. Improve commercial areas by making them more attractive and pedestrian friendly in order to attract shoppers and businesses and increase economic and general activity.

Cayucos

The community has established the following goal (No.7) and policies (Nos. 8-10) that relate to improving the economy (listed in Chapters 1 and 4):

7. Plan for the visitor-serving and residential features of the community to coexist in harmony and supplement each other. Emphasize both features of the community and promote their excellent potential.
8. Provide a balance of community-serving and visitor-serving businesses and uses.
9. Provide additional parking, especially between B and E Streets, using a variety of means consistent with resource protection.

D. Attracting and Retaining Business and Industry

A Business Retention, Expansion & Attraction Study (Economic Strategies Group, December 1994) prepared for the county recommended several "industry clusters" that should be targeted for development in this county. The study also gives examples of types of businesses within each industry cluster. The clusters are:

Agriculture:	agricultural services, biotechnology, food processing
Construction:	development services (contractors, engineering, finance, real estate)
Environment:	environmental technology
Computers:	tele-communications and high-technology entertainment, software development, information processing and computer services
Tourism:	tourism and lodging

Many of these clusters appear to be very well suited to the planning area. In Cayucos, tourism and lodging are ideal industries to target for development because they take advantage of the natural beauty and recreational opportunities in the area.

This plan provides suitable areas for commercial, office and other business development. However, simply providing zoning and standards for "clean," high-technology industries, by itself, may not attract businesses to the planning area. Much more needs to be done to attract certain kinds of industries. For example, a comprehensive economic development program should be promoted by the community. This program could help attract the best potential businesses to the area and encourage new investment in the community. To further stimulate economic

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growth, existing local or family-owned businesses can be assisted so that profits will remain within the county.

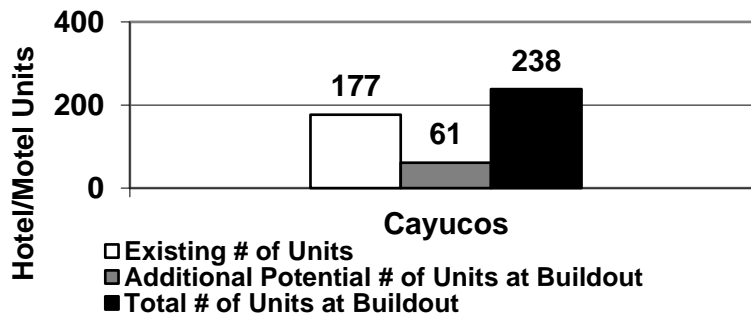
Countywide measures to retain and attract business and industry are discussed in the *Business Retention, Expansion & Attraction Study* and in the Economic Element of the county General Plan. The Economic Advisory Committee makes recommendations to the Board of Supervisors on economic development policies, including attracting industry to the county.

E. Economic Development in This Plan

Potential Hotel/Motel, Office and Commercial Development

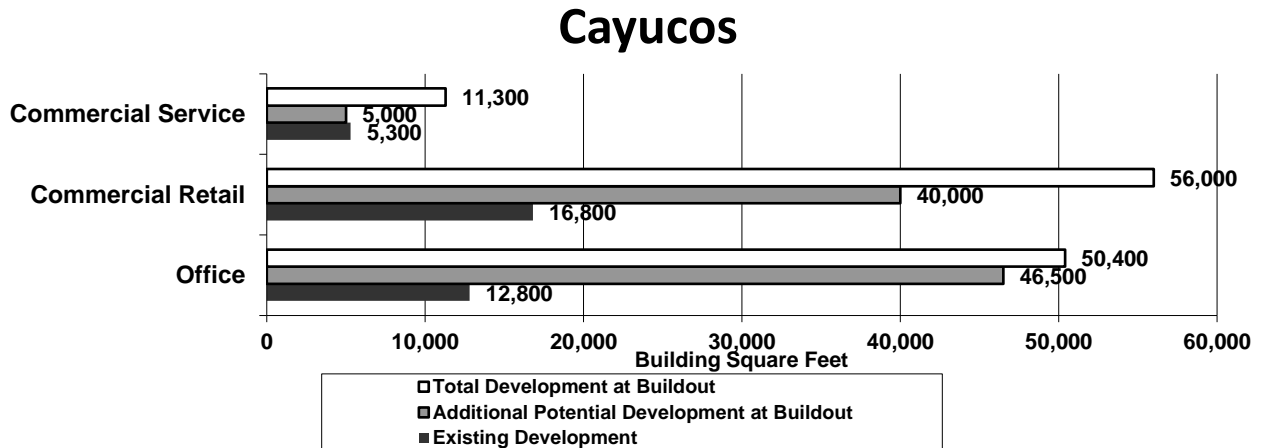
This plan provides for additional employment opportunities in tourist-oriented and business park development. Figure 2-1 compares existing hotel/motel development with potential development at buildout. Figure 2-2 compares existing office, commercial, and service commercial development with potential development at buildout.

Figure 2-1: Existing Hotel/Motel Units and Potential at Buildout



Note: Excludes vacation rentals.

Figure 2-2: Existing and Potential Non-residential Development



NOTE: The amounts of Office, Commercial Retail, and Commercial Service development refer to the square-footage of existing development and estimated future development at buildout within those land use categories.

F. Economic Effects of This Plan

Jobs/Housing Balance

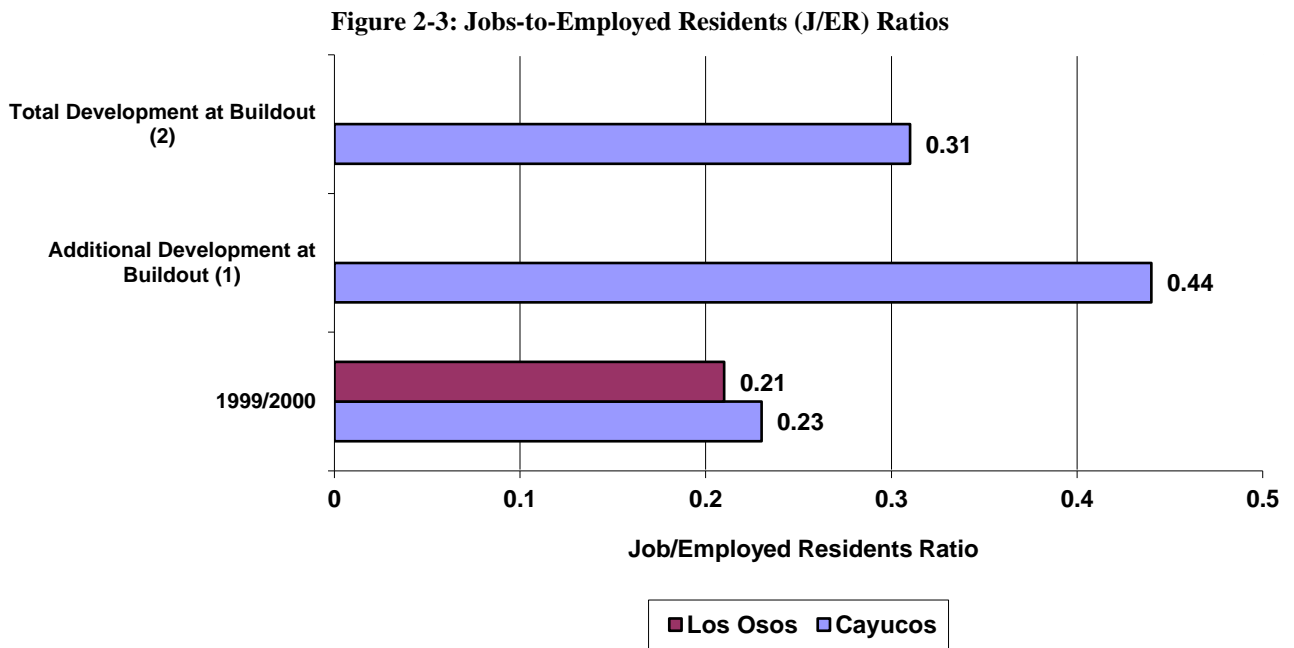
This section compares the amounts of jobs and housing units in Cayucos and Los Osos as of 1999/2000, and at buildout in Cayucos. The balance of jobs and housing is measured by comparing the ratio of jobs to employed residents. This *jobs-to-employed-residents ratio (J/ER)* is calculated by dividing the number of jobs by the number of workers living in a community.

In general, a J/ER ratio of 1.0 is considered ideal, while a ratio below 1.0 may indicate that a disproportionate number of residents commute to work in other areas. This can increase traffic congestion, pollution and energy use. It can also indicate that the local economy may be losing sales tax revenues to other communities, signaling a weakness in the local economy. However, it should be recognized that the J/ER ratio is highly theoretical. What it really indicates is whether there are sufficient *opportunities* for residents to be employed in the community where they live. In reality, though, residents may actually work in other communities for a variety of reasons. Therefore, it is possible for a community to have a desirable J/ER ratio of 1.0, for example, yet have a much lower ratio considering the proportion of local resident workers that actually work within the community.

As shown in Figure 2-3, the 1999/2000 J/ER ratio was .23 in Cayucos and .21 in Los Osos, well below the ratios in nearby cities. For example, the J/ER ratio was .75 in Morro Bay and .68 in Atascadero. These J/ER ratios are based on U.S. Census Bureau figures for numbers of employees (per 1999 County Business Patterns) and the employed civilian population (per 2000 U.S. Census of Population and Housing). At buildout in Cayucos, the overall J/ER ratio, including existing development, would improve somewhat to .31. However, even with substantial increases in the

amount of commercial development at buildout, Cayucos would still not be able to provide employment opportunities for all of the resident workers.

Another way to look at how this plan affects the jobs and housing picture is to determine the J/ER ratio for the *additional development* projected in this plan. This indicates the extent to which growth in population and workers is matched by growth in job opportunities. In this regard, the J/ER ratio would improve in Cayucos compared to the existing situation: .44 for the *additional development* projected in this plan. However, this J/ER ratio would still be below the existing ratio for all development in nearby cities.



Notes:

1. Jobs/Employed Residents (J/ER) ratio is *new* employment in the community divided by the number of new workers living in the community, as projected at buildout.
2. J/ER ratio is *total* employment in the community divided by the *total number* of workers living in the community, as projected at buildout.

Sources: U.S. Census Bureau 1999 County Business Patterns (numbers of employees)
 2000 U.S. Census Population and Housing (numbers of employed civilians)

Sales Leakage

This section discusses the sales tax "leakage" and "capture" in Cayucos and Los Osos as of 1998/2000, and at buildout in Cayucos under this plan.

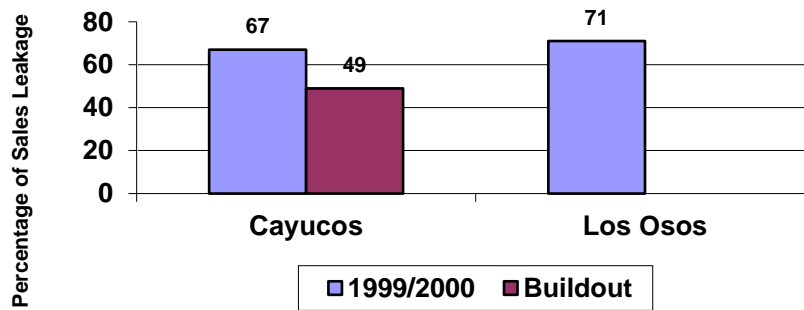
Sales leakage occurs when sales at retail stores (and hence sales tax revenues) are less than the total amount of money spent by residents. This indicates that residents travel outside of Cayucos or Los Osos for shopping, causing "leakage" of sales tax dollars to other communities. On the other hand, sales tax "capture" occurs when total sales in the community exceeds the total amount of money spent by residents. This indicates that people from other communities travel to Cayucos or Los Osos for shopping, thus "capturing" sales tax revenues from those other communities. A

leakage or capture percentage of near zero is desirable, since it suggests that the retail needs of a community can be accommodated by local retail businesses. The following capture and leakage figures are estimates only. They are based on average sales per square foot of commercial development, which are assumed to substantially increase in the future as the variety and number of commercial businesses increase.

Currently, it is estimated that both Los Osos and Cayucos experience considerable leakage of retail sales to other communities such as Morro Bay, San Luis Obispo, Atascadero and Paso Robles. In Los Osos, estimated local taxable sales in 2000 were about \$30.8 million, compared to total estimated spending of about \$105.8 million by Los Osos residents. As a result, about \$75 million of retail sales "leaked" to other communities--about 71 percent. In Cayucos, about \$13.5 million of the total estimated spending of \$15 million leaked to other communities--a leakage of about 67 percent.

Figure 2-4 compares the percentage of leakage of retail sales in Cayucos at buildout to the situation in 1999/2000. At buildout in Cayucos, substantially more retail spending would occur locally compared to 1999/2000, but substantial leakage to other communities could still occur: about 49 percent. Much of the improvement from existing conditions is due to the assumption that the average amount of retail sales per square foot of commercial development will substantially increase in the future.

Figure 2-4: Leakage of Retail Sales



Note: Percentage of sales leakage is the estimated amount of retail sales occurring outside the community divided by the total estimated spending by local residents.

II. POPULATION AND HOUSING

A. Historical Population Growth

The growth rate of the Estero Planning Area had has been among the highest in the county until the 1980s. Since that time, growth has slowed, largely because of building limitations due to concerns about water supply in Cayucos and sewage disposal in Los Osos. Most population growth has occurred in the communities of Los Osos and Cayucos, where about 95% of the current unincorporated population in the planning area lives.

Population in Los Osos increased from 3,490 to 10,933 persons or 213% between 1970 and 1980. By 1990, the population of Los Osos was 14,377, an increase of

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about 31% since 1980. During the same period, the population of the county increased by nearly 40%. The population has changed little since 1990.

The population of Cayucos increased from 1,770 to 2,301 between 1970 and 1980, an increase of about 30%. By 1990, the population had increased to 2,960--an increase of about 29%--and has changed little since that time.

The population of the rural portion of the planning area (outside of the urban reserve lines of Cayucos and Los Osos) was about 820 in 1990, and has changed little since that time. Population figures for the rural area are approximate, since census data are not provided that correspond to that geographic area.

Historical population growth is illustrated in Figure 2-5 and Table 2-3. Most population figures in this chapter are taken from the U.S. Census of Population and Housing; the most recent census was in 2000.

Updated information regarding the community of Los Osos can be found in Appendix C of the Los Osos Community Plan.

Figure 2-5: Historical Population Growth

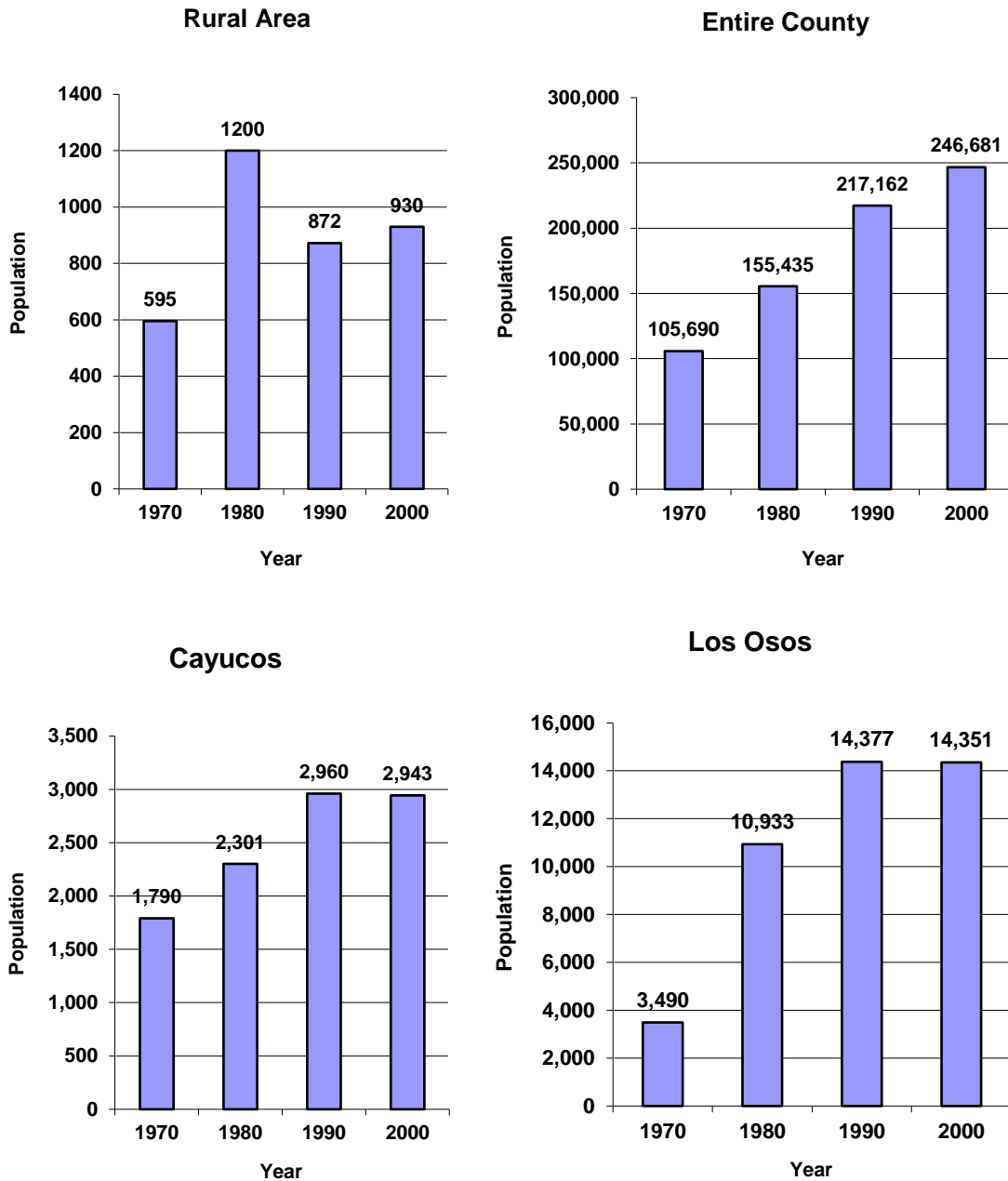


Table 2-3: Historical Population Growth

% Changes	1970-1980	1980-1990	1990-2000
Cayucos	28.5	28.6	0
Los Osos	213.3	31.5	0
Rural	102	N/A	6.7
County	47.1	39.7	13.6

Notes: Population figures for the rural area are approximate and not based on census data; population estimates for years before 1990 are not comparable to post-1990 figures due to changes in planning area boundaries;

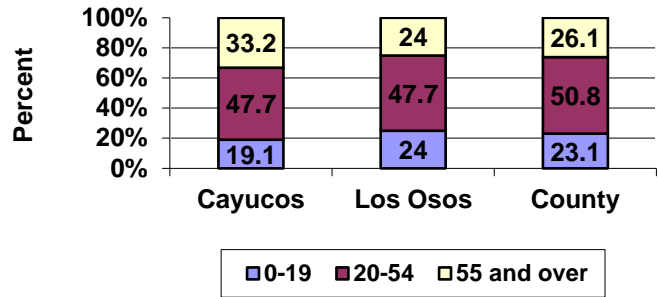
Sources: 2000 U.S. Census of Population and Housing, California State Department of Finance, SLO County

B. Population Profiles

Age Profile

Compared to the county as a whole, both Los Osos and Cayucos have a smaller proportion of children and teenagers. For example, 24% of Los Osos residents are 20 and under, compared to 19.1% in Cayucos and 26.1% in the county as a whole (see Figure 2-6 and Table 2-4).

Figure 2-6: Population Age Distribution



Both Los Osos and Cayucos have larger proportions of senior citizens than the county as a whole. In Los Osos, 28.3% of residents are 55 and over, compared to 33.2% in Cayucos and 23% in the county as a whole. This illustrates the desirability of these areas for retirement, and indicates a need to provide housing and services for this large segment of the population.

Table 2-4: Population Age Distribution

Age Range	Cayucos	Los Osos	County
0-19	561	3,448	64,337
20-54	1,404	6,841	125,390
55 and over	978	4,062	56,954
Total	2,943	14,351	246,681

Source: 2000 U.S. Census of Population and Housing

Education Level

Residents in the Estero Planning Area have generally attained a higher educational level than residents in the county as a whole. In both Los Osos and Cayucos, higher percentages and in some cases substantially higher percentages of residents age 25 and over hold bachelor's, master's and doctorate degrees, compared to the county as whole.

Household Size

Household sizes in Los Osos and Cayucos are smaller than those in the county as a whole, but the rural area has a higher household size than the county average. In Los Osos, there is an average of 2.44 persons per occupied dwelling unit; in Cayucos, 2.09; and in the rural area, about 2.67. This compares to a county average of 2.66 persons per occupied dwelling unit.

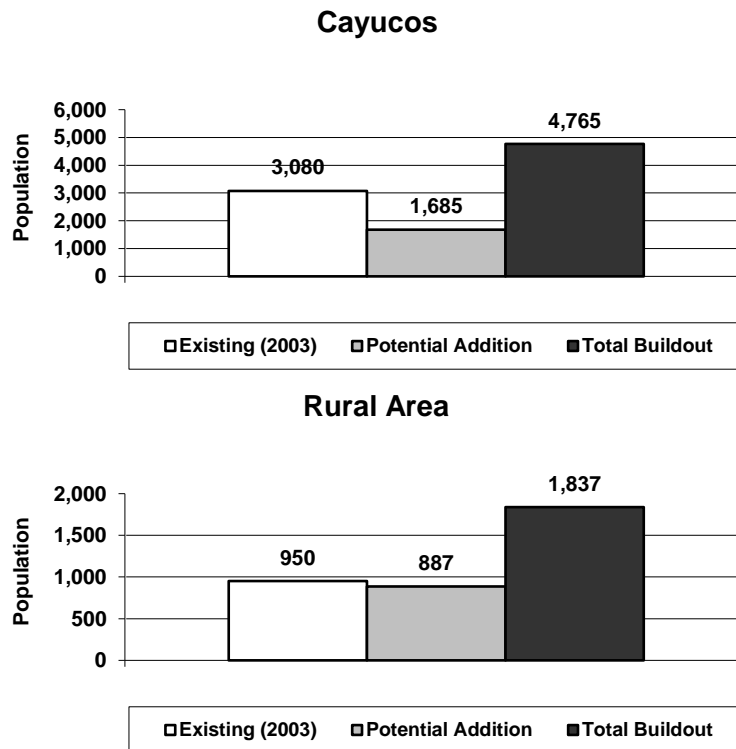
Updated information regarding the community of Los Osos can be found in Appendix C of the Los Osos Community Plan.

C. Population Projections

The following figure and table contain population projections for Cayucos and the rural area. For illustration, Figure 2-7 shows existing population, and ranges of potential population at buildout. Table 2-5 gives population projections over the 20-year time-frame of this plan, and shows the relationship to buildout. Buildout is the estimated, likely maximum population that could result under the general plan. The estimates are adjusted to take into account limitations on development due to physical constraints and market demand. Nevertheless, buildout is only a theoretical estimate. Actual development may vary depending on a variety of factors.

The Cayucos Citizens Advisory Council has recommended establishing annual growth limitations for residential development within the urban reserve line. The purposes of such limitations are to allow public services to keep pace with a moderate rate of new development and to reduce possible stresses on the economy caused by a "boom-and-bust" cycle that may occur with uncontrolled growth. Programs to accomplish the recommended growth limitations are described in Section III, Programs.

Figure 2-7: Existing Population and Theoretical Potential at Buildout



POPULATION AND HOUSING

Table 2-5: Estimated Growth and Buildout¹

AREA	2003	2005	2010	2015	2020	2022
Cayucos	3,080	3,220	3,610	4,050	4,530	4,765 buildout in 2022²
Rural	950	990	1,110	1,250	1,400	1,460
						1,837 buildout in 2031⁴
<p>1 Population estimates assume 2.3% annual growth rate, 2 Buildout estimate for Cayucos assumes 9.3% vacancy for existing development, 5% vacancy for future development, 2.09 persons per occupied dwelling unit 4 Buildout estimate for the Rural area assumes 100% occupancy and 2.67 persons per occupied dwelling unit</p>						

Land Use Categories	Los Osos
Agricultural	
Rural Lands	
Residential Rural	
Residential Suburban	1,956
Residential Single-Family	19,416
Residential Multi-Family	5,796
Office and Professional	1,512
ABSORPTION CAPACITY	28,688
Existing Population	14,440
POTENTIAL ADDED POPULATION	14,248

1 Potential population at buildout by land use category.

D. Housing Vacancies and Occupancy Type

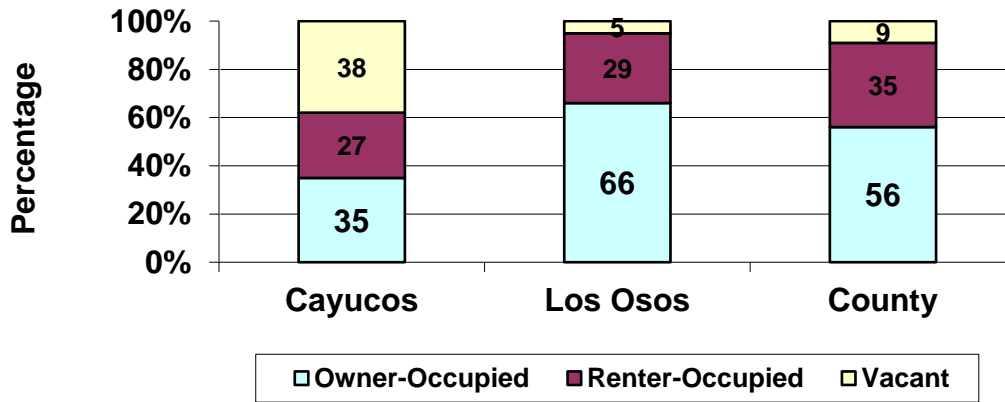
Figure 2-8 shows the percentages of vacant units in Cayucos, Los Osos and the county as a whole as of 2000. According to the 2000 U.S. Census of Population and Housing, Cayucos has a high percentage of vacant dwelling units compared to the county as a whole. This is largely due to a high level of seasonal use (about 33% of total units), which includes recreational and occasional use of dwellings. The vacancy rate in Cayucos is about 38%, compared to only about 5% in Los Osos and 9% in the county as a whole. The preceding vacancy rates apply to the month of April, when the survey was conducted by the U.S. Census; actual vacancy rates may vary throughout the year.

Figure 2-8 also shows the percentages of total dwelling units that are owner and renter-occupied. However, *when calculated as a percentage of occupied units only*, about 70% of the units in Los Osos are owner-occupied, compared to 57% in Cayucos and 62% in the county as a whole. The Los Osos figure is relatively high, due at least in part to the small percentage of multi-family housing in the community.

The Cayucos figure is relatively low due to the high percentage of vacant units in that community.

Updated information regarding the community of Los Osos can be found in Appendix C of the Los Osos Community Plan.

Figure 2-8: Housing Occupancy Type and Vacancy Rates



Note: Percentages are based on total number of housing units.
Source: 2000 U.S. Census of Population and Housing

III. PROGRAMS

"Programs" are recommended non-mandatory actions to achieve community or areawide objectives identified in this area plan. Implementation of each LUE program is the responsibility of the county or other public agency identified in the program itself and in the following table. Because programs (some of which include special studies) are recommended actions rather than mandatory requirements, implementation of any program should be based on consideration of community needs, community support and available funds.

The following programs relate to population and economy:

A. Cayucos

1. **Growth Management.** The county should amend Title 26, the Growth Management Ordinance, by limiting the annual rate of growth of dwelling units that can be built within the Cayucos urban reserve line to 2.3 percent (about 50 units in the first year).

The following table summarizes the preceding recommended programs to be implemented by the county or other public agencies. In the table, the first column, "Topic/Program No.," identifies the program by its number in the preceding text. The second column, "Program," identifies the subject of the program. The column under "Responsible Agencies" lists which public and/or private agencies have primary responsibility for carrying out each program. The column, "Potential Program Funding," lists potential sources of funding for each program. The column, "Time Frame," identifies whether each program is expected to be carried out over a short, medium, or long-term period, or whether the program requires an on-going effort. The column, "Target Date," lists the estimated date by which each program should be implemented. The last column, "Priority," ranks each program according to whether it has a high, medium or low priority for implementation. This will help decision makers and the public decide how to allocate limited funds.

Table 2-6: Absorption Capacity Estero Planning Area

Topic/Program No.	Program	Responsible Agencies	Potential Funding	Time Frame	Target Date	Priority
Cayucos						
A1.	Growth Management-Cayucos	Co. Planning, Board of Supervisors	None Required	Short Term	2005	High
Co. Planning		County Department of Planning and Building				

CHAPTER 3: PUBLIC FACILITIES, SERVICES AND RESOURCES



I. INTRODUCTION

This chapter discusses the availability of public facilities, services and resources for the Estero Planning Area. Appropriate levels of service for urban, suburban and rural areas are discussed in Chapter 3 of *Framework for Planning, Coastal Zone*. Information about existing service levels is current as of mid-2001 or later.

A. Monitoring the Availability of Resources: The Resource Management System

To monitor the relationship between resources and demand levels, the county has developed the Resource Management System (RMS). The RMS monitors water supply, sewage disposal, schools, roads, air quality and parks, using three "levels of severity" to inform decision makers of current and potential deficiencies.

The status of resources monitored by the Resource Management System (RMS) is frequently updated as new information becomes available. Current RMS Levels of Severity may be found in Appendix D of *Framework for Planning, Coastal Zone*. More detailed resource information is included in the most recent edition of the

INTRODUCTION

Annual Resource Summary Report. RMS procedures are fully discussed in *Framework for Planning, Coastal Zone*, Chapter 3.

B. Relationship to Planning Policies and Programs

The County General Plan contains goal statements that apply to the provision of public facilities and services and the conservation of resources. As expressed in the *Framework for Planning, Coastal Zone*, these broad goals include:

Relationship to Planning Policies and Programs

- "Balancing the capacity for growth allowed by the Land Use Element with the sustained availability of resources."
- "Conserving nonrenewable resources and replenishing renewable resources."
- "Providing the lead time necessary to fund and put in place public services necessary to support the population growth, considering the county's and taxpayers' financial ability to provide them."
- "Require consideration of the timely availability of funding as an integral part of expanding public facilities and services."
- "Avoiding the use of public resources, services and facilities beyond their renewable capacities."
- "Planning for and monitoring new development through the resource management system and growth management strategies, to ensure that resource demands will not exceed existing and planned capacities or service levels."
- "Planning new land uses that avoid overburdening existing resources, services and facilities."

The incorporated city of Morro Bay is responsible for land use planning and for the provision of public services to all areas within its boundaries. Outside the city limits, future areas for city growth are defined by urban reserve lines. Urban reserve lines also define growth areas around the unincorporated communities of Cayucos and Los Osos, where special districts and private companies provide some, but not all, of the services provided by incorporated cities. In unincorporated areas, land use planning is the county's responsibility.

II. PUBLIC FACILITIES, SERVICES AND RESOURCES: STATUS, NEEDS, POLICIES

Public services and facilities are provided in the Estero Planning Area by San Luis Obispo County, the City of Morro Bay and a variety of special purpose districts, including school districts, water districts, private water companies, fire protection districts, sanitary districts, drainage districts and street lighting districts. The incorporated City of Morro Bay provides all of these functions for properties within its city limits. The boundaries of the special districts supplying these services in Cayucos are shown in Figure 3-1.

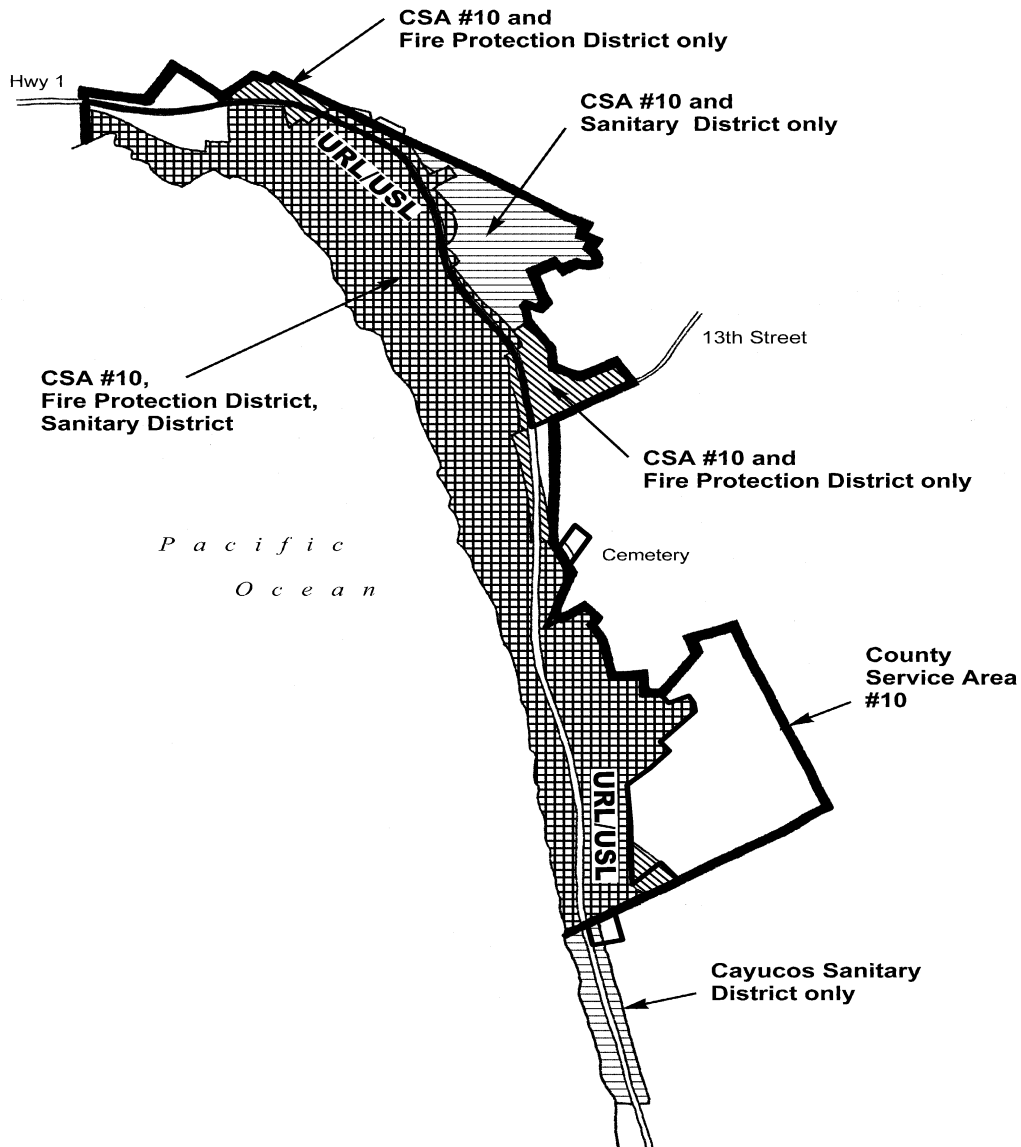


Figure 3-1: Service Providers - Cayucos

Services in Los Osos are provided primarily through the Los Osos Community Services District (LOCSA). Within the boundaries of the LOCSA, some services

PUBLIC FACILITIES, SERVICES AND RESOURCES: STATUS, NEEDS, POLICIES

are provided to the entire district and others to smaller specific zones of benefit. The LOCSD zones of benefit are shown in Figure 3-2, below. Additional water service is provided by California Cities Water Company and S & T Mutual Water Company. Service areas for water supply are shown in Figure 3-4.

A. Water Supply

1. Areawide Water Supply

Policy: Monitor water demand through the Resource Management System to assure that new development can be supported by available water supplies without depleting groundwater supplies and/or degrading water quality.

Water supplies in the Estero Planning Area consist of surface and sub-surface flow in several coastal streams, the groundwater basins associated with those streams, and Whale Rock Reservoir. Summaries of groundwater basin characteristics are contained in Table 3-1.

Total estimated water supplies available to water users within the Estero Planning Area include about 600 afy from Whale Rock Reservoir, 1,313 afy from the State water project in the city of Morro Bay, and 645 afy from the Morro Bay desalination plant. The Lake Nacimiento water project would increase the total supplies.

Table 3-1: Characteristics of Groundwater Basins, Estero Planning Area ¹

Basin	Usable Storage (acre-feet)	Estimated Basin Yield (acre-feet/yr)	Current Use
Villa Creek	2,200	1,000 ²	Agriculture; domestic use
Cayucos Creek	1,300	600 ²	Agriculture; domestic use
Old Creek	1,500	330	Agriculture; domestic use
Toro Creek	1,000	591 ³	Agriculture; domestic use
Morro Creek	7,000	1,500	Municipal (Morro Bay); agriculture
Chorro Creek	7,000	1,700	Municipal (Morro Bay); agriculture

1 Sources: SLO County Master Water Plan Update, 1986 and 1998, except as noted

2 Safe seasonal yield

3 Percolation of precipitation

4 Groundwater yield

5 SLO Dept. of Planning & Building, based on Cleath & Assoc.

8 Represents water rights of users upstream of Whale rock Reservoir

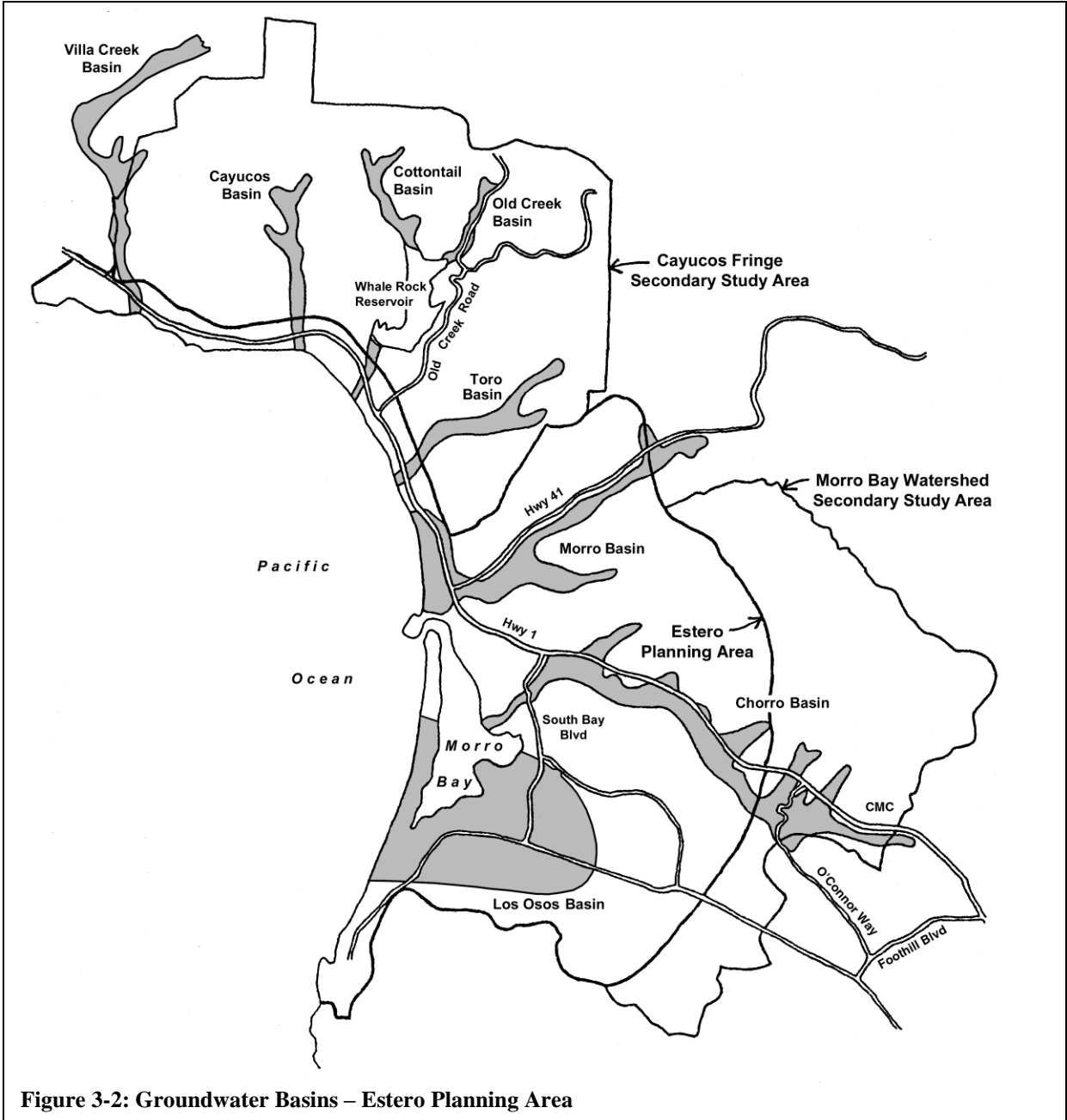


Figure 3-2: Groundwater Basins – Estero Planning Area

Comparison of Supply and Demand.

Table 3-2 compares estimated future water demand to projected water supplies within the Estero Planning Area to help estimate the planning area's capacity to support additional development.

In Cayucos, projected water supply (includes 160 acre-feet per year in connection with the Lake Nacimiento water project) would be sufficient to accommodate projected demand at buildout, assuming an increasing percentage of residential occupancy over time.

PUBLIC FACILITIES, SERVICES AND RESOURCES: STATUS, NEEDS, POLICIES

Implementation of water conservation measures may significantly reduce water demand. For example, replacement of older toilets with ultra low-flush models will reduce demand by about 15 percent. (Source: California Urban Water Conservation Council: various studies of the water savings due to replacement of old toilets with 1.6-gallon-per-flush toilets).

Table 3-2: Water Supply and Demand: Estero Planning Area (acre-feet per year)

Location	Supply						Demand
	Current				Projected		Project Demand at Buildout
	Surface water	Desalination	Ground Water	State Water	Lake Nacimiento	Total Supply	
Cayucos: Community	582 ¹	-	-	-	160	742	499-735 ¹⁰
Cayucos: Cemetary	18 ¹	-	-	-	-	18	18
Cayucos: Total	600 ¹	-	-	-	160	760	517-753 ¹⁰
Morro Bay: Agriculture	-	-	2	-	-	-	2600
Morro Bay: Golf Course	-	-	2	-	-	-	180
Morro Bay: PG&E	-	-	2	-	-	-	30
Morro Bay Private Wells	-	-	2	-	-	-	60
Morro Bay: Community	-	645	2	1313	55	-	2070
Morro Bay: Total		645	3200 ³	1313	55	5213	4940
Villa Creek Basin	-	-	1000 ¹¹	-	-	1000	475
Old Creek Basin	-	-	330 ^{1,2}	-	-	330	160
Cayucos Creek Basin	-	-	600 ¹¹	-	-	600	265
Toro Creek Basin	-	-	590 ¹¹	-	-	591	60

- 1 Whale Rock Reservoir
- 2 Supply some portion of combined supplies of Morro Valley groundwater basins
- 3 Morro Valley Basin 1500 afy (Cleath, 1993). Chorro Valley Basin, 1700afy (Est based on Cleath, 1993)
- 4 Requested by San Luis Coastal Unified School District for Morro Bay High School
- 5 Supply is some portion of total supply from Los Osos Valley groundwater basin
- 6 John L. Wallace & Associates in connection with Tim Cleath & Associates, Los Osos Community Services District Draft Water Master Plan, August 2002; current supply assumes use of septic systems; projected supply is with a community sewer system.
- 7 City of Morro Bay Water Management Plan (Final Draft), Appendix B, "Groundwater Analysis", Cleath & Associates, 1993
- 8 Estimate based on Cleath, 1993
- 9 Based on buildout population of 13,100; 141 gpcd use rate
- 10 Varies based on different scenarios; see Table 3-3
- 11 San Luis Obispo County Master Water Plan Update, 1998
- 12 Represents water rights of users upstream from Whale Rock Reservoir

2. Cayucos Water Supply.

Policy: Facilitate provision of supplemental water to accommodate future development

Whale Rock Reservoir is operated by the City of San Luis Obispo, under the direction of the Whale Rock Commission. The reservoir has a storage capacity of 50,000 acre-feet. This capacity is reserved for use by the city of San Luis Obispo, the California Men's Colony, Cal Poly University, and Cayucos, which has an allocation of 600 acre-feet per year. Cayucos water customers receive the Whale Rock water through three separate water service districts that have cooperated to form the Cayucos Area Water Organization (CAWO). Water is piped from the reservoir to a water treatment plant and then to the distribution systems of the three purveyors. The purveyors have agreed among themselves to allocate the 600 acre feet as follows:

PUBLIC FACILITIES, SERVICES AND RESOURCES: STATUS, NEEDS, POLICIES

Paso Robles Beach Water Association:	222 afy
Morro Rock Mutual Water Company:	170 afy
County Service Area #10A:	190 afy
Cayucos Cemetery District:	18 afy
<hr/>	
Total	600 afy

Water conservation programs have kept Cayucos within its allocation without the need for rationing. Over the past 10 years, total water production in the community has remained fairly constant at roughly 400 acre feet per year.

Projected Supply and Demand. CSA 10A and the Morro Rock View Mutual Water Company are interested in obtaining supplemental water through the Lake Nacimiento water project to provide sufficient water for the buildout population. Likewise, the Lewis C. Pollard Family Trust has requested supplemental water through the Lake Nacimiento project for an area on the west end of Cayucos. The total amount of supplemental water being requested is 160 acre feet per year. Assuming 70 percent occupancy for existing development and 95 percent for new development (Scenario 1 in the following Table 3-3), the community's water demand at buildout could be a little over 600 afy the community's allocation without retrofitting. However, based on historic conditions, Scenario 2 is the most realistic estimate of future water demand. In that scenario, an approximately 87 percent occupancy rate for existing development and a 91 percent occupancy rate for new development could result in a buildout demand that is substantially higher than 600 afy without retrofitting. If Cayucos' existing residences and businesses were to have their plumbing fixtures replaced with ultra low-flow fixtures--many residences have already been retrofitted-- demand estimates would be reduced. For example, with 50 percent retrofitting (see footnote 2 below for definitions), future demand under Scenario 2 would be reduced from about 750 afy to 690 afy, but would exceed the community's current 600 afy allocation. With 100 percent retrofitting, future demand under Scenario 2 would be further reduced to about 625 afy, still somewhat in excess of the community's allocation. Several scenarios for projected water demand in Cayucos, together with their assumptions, are summarized in Table 3-3. These scenarios give different projections of water use in Cayucos. They are illustrative only. The actual amount of water needed for buildout will vary depending upon factors such as actual water usage, exact number of vacant parcels, and occupancy rates. None of these scenarios separates water demand and buildout by individual water purveyor.

Table 3-3: Projected Water Demand: Cayucos

Scenario	Number of Dwelling Units ¹	Water Demand ² (acre-feet per year)		
		no retrofitting	50% retrofitting	100% retrofitting
1. ³	2,505	619	568	517
2. ⁴	2,505	753	689	625
3. ³	2,772	693	622	591
4. ⁴	2,772	823	759	695

1. Scenarios 1 and 2 reflect the buildout under this plan; Scenarios 3 and 4 reflect a buildout resulting from RMF density of 15 dwelling units per acres.
2. Assumes the following:
 - A 10% planning “cushion” is included in the demand figures as required by the Board of Supervisors
 - Water use for existing development: 0.2643 acre-feet per dwelling per year
 - Water use for new development: 0.2254 acre-feet per dwelling per year
 - The ratio of residential to non-residential development will remain constant in the future such that residential development will account for about 86% of the total residential plus non-residential water demand
 - Water demand for the cemetery will remain constant at 18 acre-feet per year
 - “50 percent retrofitting” assumes a 10% reduction in water demand for existing residential development and a 5% reduction in water demand for existing non-residential development; “100 percent retrofitting” assumes 20% and 10% reductions respectively.
3. Assumes 70% occupancy for existing development; 95% for new development
4. Assumes 87.25% occupancy for existing development; 91% for new development. This scenario is currently seen as being the most realistic, as it is based on recent consumption and occupancy data provided by the Cayucos Area Water Organization water purveyors.

3. Morro Bay Area Water Supply.

Water supply and demand for the City of Morro Bay is of interest in this plan because groundwater in the Morro Creek and Chorro Creek Basins is used by property owners in the unincorporated area east of Highway 1, as well as by the city. The City of Morro Bay has historically been very concerned about sufficient water supplies. However, two additional sources of supply, State Water and the desalination facility, should enable Morro Bay to provide water to serve its build-out population. Projected buildout for the area east of the city envisions an increase of about 8 percent in the use of water for agriculture and private domestic use. With Morro Bay relying on a combination of State water and groundwater to serve the anticipated increase in demand, and with desalination for use in drought situations, groundwater supplies should be sufficient to serve the area east of the city.

B. Sewage Disposal

Policy: Monitor sewage flows through the Resource Management System to assure that new development can be accommodated by sewage disposal capacities

1. Overview

Wastewater generated in Cayucos, Los Osos, and the City of Morro Bay is collected in conventional underground sewer systems and conveyed to treatment plants. The balance of the planning area is served by individual septic systems or small package treatment plants.

2. **Cayucos Sewage Disposal**

Capacity of plant/current flow. Sewage from Cayucos homes and non-residential uses is collected in a conventional underground community system of laterals and sewer mains for transport to the City of Morro Bay sewage treatment plant. Current plant capacity is 2.06 million gallons per day (mgd, average dry-weather flow). In 2006, average dry weather flows were about 1.209 mgd from Morro Bay and about .283 mgd from Cayucos, which means that the treatment plant was operating at roughly 70 percent of capacity.

Projected flow at buildout. If it is assumed that the amount of wastewater flow has a fairly constant relationship to water demand, future flow can be estimated using estimates of water demand. Using this methodology, Cayucos' average dry-weather wastewater flow at buildout would range from about 0.318 mgd (assuming 61.5% occupancy for existing development and 95% occupancy for new development) to about 0.401 mgd (assuming 80% and 95% occupancy for existing and new development, respectively). Morro Bay's projected flows at buildout are approximately 1.42 mgd. Therefore, the treatment plant's 2.06 mgd capacity is sufficient to handle the combined projected flows from Cayucos and Morro Bay at buildout. However, at buildout, Morro Bay could be close to its entitlement to the treatment capacity that is provided for in a Joint Powers Agreement with the Cayucos Sanitary District (Cayucos would be well within its entitlement to the treatment plant capacity). An upgrade to the treatment plant is planned to be completed by 2015.

C. Schools

1. **Areawide**

The Estero Planning Area is served by three school districts, shown in Figure 3-4. The area south of Cayucos, including Los Osos and the City of Morro Bay, is in the San Luis Coastal Unified School District. Cayucos is in the Cayucos Elementary School District and the Coast Unified School District.

2. **Cayucos Schools**

Current capacity and enrollment trends. Cayucos Elementary School District operates one K-8 school with a permanent capacity of 240 students. Enrollment during the 1993-2002 period has ranged between about 322 and 234 students. The campus lacks the facilities to provide an adequate program for middle school students. The school site's small size (3.7 acres)

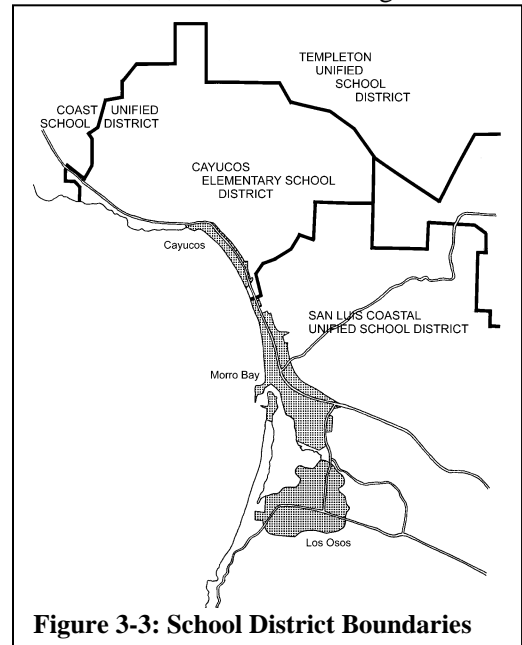


Figure 3-3: School District Boundaries

makes it infeasible to provide adequate physical education and athletic programs. Other core facilities are similarly undersized. The district continues to look for a suitable school site of 10 to 20 acres.

Coast Union High School and Leffingwell Continuation High School, both in Cambria, serve the entire North Coast area, including Cayucos. The 2002 high school enrollment was 375 students, including 28 at Leffingwell. Approximately 34 percent of the high school enrollment is from Cayucos. More than two-thirds of the high school classrooms are portable classrooms, many in need of replacement. In 1998, voters within the Coast Union High School attendance area approved a bond measure for construction of 12 new classrooms that will replace many of the older portables. Enrollment during the 1993-2001 period has been about 65 to 74 percent of capacity.

Projected enrollment. Enrollment projections are based on "student generation rates." These rates are expressed as the number of students at various grade levels that may be expected to live in an "average" household. Projections made by school districts can be very detailed, with different generation rates for dwelling units based on the age of a unit, as well as its size, location and price. The projections used in this plan are based on a simplified version of current student generation rates, and assume that those rates will remain constant in the future. As with other projections of resource demands, the buildout estimate varies with assumptions about dwelling unit occupancy rates. If the existing occupancy rate is maintained for existing development and the occupancy rate of new development is assumed to be 95 percent, buildout would add about 29 K-8 students and 15 high school students. The additional K-8 students would add to an already overcrowded condition. The additional high school students could be accommodated in portable classrooms. Under the assumption of a 91 percent residential occupancy rate for existing development and 95 percent occupancy for new development, buildout would add about 147 K-8 students (an approximately 62 percent increase over current enrollment) and about 78 high school students.

D. Drainage

1. Areawide Drainage

The drainage system in the Estero Planning Area consists of creeks that originate in the Santa Lucia range to the east and the Irish Hills in the southern portion of the planning area. The creeks flow generally west across the planning area and discharge into the ocean. In general, areas subject to flooding in 100-year storm events are limited to areas immediately adjacent to these creek channels and the Morro Bay estuary (see the Combining Designation maps at the end of Chapter 7). An exception is the Warden Lake area in the Los Osos Creek drainage system and the upper reaches of the creek's estuary, which are subject to standing water during periods of heavy rainfall. Other exceptions are in Los Osos, where localized flooding associated with heavy rainfall occurs at several street intersections and other low-lying areas. Also, areas downstream from Whale Rock reservoir would be subject to flooding in the event of a dam failure.

2. Cayucos Drainage

Drainage concerns in Cayucos involve stormwater runoff and associated mudflows from the steeper slopes within and above the eastern portions of the community, as well as localized flooding from stormwater runoff in other areas. Cumulative drainage and geologic effects of existing and new development in these areas should be studied and mitigated on an areawide basis.

The floodplains of Cayucos Creek, Little Cayucos Creek and Willow Creek are limited to areas immediately adjacent to the creek channels and estuaries. In the event of the failure of Whale Rock dam, areas along the Old Creek channel would be subject to flooding and damage.

E. Parks

1. **Areawide Parks**

Park and recreation facilities in the Estero Planning Area are provided by the county and by the City of Morro Bay. Neighborhood and community parks serving more densely-populated areas are generally located within the urban reserve lines of Cayucos and Los Osos and the Morro Bay city limits. Large regional parks are typically located in rural areas. The regional parks serving the Estero Planning Area include El Chorro, Heilmann and Santa Margarita. Coastal Framework for Planning contains guidelines for park acreage in relation to the size of the population. These guidelines are summarized in Table 3-4.

Table 3-4: Park Guidelines

Type of Park	Acres Per 1000 people	Size Range (Acres)	Service Area Radius	Access by (Street Type)	Population of Service Area
Mini-Park	0.5	0.18 - 5	0.12-0.25 mile	Local/collector	500 to 2,500
Neighborhood	1.0	5 – 25	0.25-0.5 mile	Local/collector	2,500 to 5,000
Community	5.0	25+	1-2 mile	Collector/arterial	5,000 +
Regional	15-20	200+	<1 –hr drive	Collector/arterial	30,000 +

Source: *Recreation, Park and Open Space Standards and Guidelines. National Recreation and Park Association, 1983*

Regional Parks. The Estero Planning Area is served by El Chorro Regional Park. Montaña de Oro and Morro Bay State Parks and local beaches provide additional recreation areas and open space.

Neighborhood and Community Parks. It is estimated that the communities of Cayucos, Morro Bay and Los Osos have a combined total of 42 acres of neighborhood and community parks. This park acreage is augmented by school recreational facilities. The California Education Code allows community use of public school facilities and grounds, including supervised recreation activities. Although the county has no joint-use agreements with school districts, school sites are extensively used by local neighborhoods for recreation. Table 3-5

PUBLIC FACILITIES, SERVICES AND RESOURCES: STATUS, NEEDS, POLICIES

summarizes existing neighborhood and community park facilities for the Estero Planning Area and assumes that school acreage is given half credit toward meeting the acreage guideline for neighborhood parks. However, without joint use agreements, there is no guarantee that school grounds will continue to be available for public recreational use. Existing facilities are meeting only about 50 percent of the estimated current need for neighborhood and community park acreage, even when school grounds are taken into account. Proposed programs for parks are discussed in Chapter 4, Section VI, Programs.

Table 3-5: Neighborhood and Community Park Acreage, Estero Planning Area

Parks	Cayucos	Morro Bay
Hardie Community Park	4 acres	
Paul Andrew Neighborhood Park	1 acre	
Bayshore Bluffs Park		3.28 acres
Del Mar Park		10 acres
Keiser Park		8.8 acres
Tidelands Park		5.3 acres
Cloisters Park		4 acres
Community Sub-Totals	5 acres	31.38 acres

School Facilities	Cayucos	Morro Bay
Elementary School Playgrounds	3 acres (1)	7 acres (2)
High School Athletic Fields		10 acres
Community Sub-Totals	3 acres	17 acres
Community Totals	8 acres	48.38 acres

2. Cayucos Parks

Current park acreage. Cayucos currently has 5 acres of neighborhood and/or community parks: Hardie Park (4 acres) and Paul Andrew Park (1 acre). Another small park is to be developed in the vicinity of the cemetery. In addition, Cayucos residents have convenient access to Cayucos Beach, which is considered a regional recreation facility. According to National Recreation and Park Association (NRPA) recommended guidelines, a community the size of Cayucos needs about 18 acres of neighborhood and community parks. In particular, Cayucos needs more opportunities for "active" recreation, such as ball fields, children's play equipment, recreation programs, etc.

Projected park needs. Using the guideline of 6 acres of community and neighborhood park acreage per 1,000 residents, Cayucos will need about 28 acres to serve the estimated buildout population. Proposed programs for parks are discussed in Chapter 4, Land Use Policies and Programs.

F. Roads

Roads issues are discussed in Chapter 5, Circulation Element, and in the *Annual Resource Summary Report*.

G. Solid Waste Disposal

Weekly solid waste collection service within the Estero Planning Area is provided by a private hauler. The waste is disposed of at the Cold Canyon landfill south of San Luis Obispo. The projected service life of the Cold Canyon landfill extends to about 2012. Thus, without further expansion, this landfill is expected to reach capacity prior to the horizon year of this plan update. The Chicago Grade landfill, east of Templeton, is an alternate disposal site expected to reach capacity by about 2024.

Recyclable materials are collected and processed by private disposal companies. However, more could be done to facilitate recycling, such as expanding recycling programs, including green waste recycling. Providing a local collection center/transfer facility for recyclable materials could also provide more opportunities for recycling.

H. Police Service

With the exception of the city of Morro Bay, the entire coastal area, including the Estero Planning Area, relies on the County Sheriff and the California Highway Patrol for police services. The Sheriff's coast station is located in Los Osos. The Highway Patrol office is located near the California Boulevard-Highway 101 interchange in San Luis Obispo. The city of Morro Bay is served by the police station on Morro Bay Boulevard. Response times for the Sheriff's office vary, based on allocated personnel, existing resources, time and day of week and prioritized calls for law enforcement services. In 2001, the average response time for an area that includes much of the Estero Planning Area was about 15.7 minutes, according to the County Sheriff's Office.

Another measure of adequacy for police services is the ratio of deputies to population. The County Sheriff's Office has identified a ratio of one deputy per 750 residents as providing an adequate level of service. For San Luis Obispo County, the ratio in 2002 was roughly one deputy for each 1,000 residents, according to the Sheriff's Office. In comparison, the 1997 ratio for San Bernardino County was 1:1,700 and for Santa Barbara County, 1:1,600 (source: County of San Luis Obispo Sheriff's Office, as cited in the Woodlands EIR).

A portion of the fees paid by new development are used to fund County Sheriff's patrol facilities.

I. Fire Protection

Fire protection and emergency medical assistance for rural areas are provided by the California Department of Forestry and Fire Protection (CDF), which acts as the County Fire Department by contract with the county. The CDF/County Fire stations that serve the rural parts of the Estero Planning Area are located south of Cayucos and west of Devil's Gap on Highway 41 in the Santa Lucia Mountains. In Cayucos, fire and related medical and rescue services are provided by the Cayucos Fire Protection District. In Los Osos, fire protection and emergency medical services are provided by CDF/County Fire through an agreement with the Los Osos Community Services District (LOCSD). The Cayucos Fire Protection District, the LOCSD, the

PUBLIC FACILITIES, SERVICES AND RESOURCES: STATUS, NEEDS, POLICIES

City of Morro Bay and CDF/County Fire maintain mutual and automatic aid agreements with each other.

For most calls within the planning area, CDF response times vary from eight to twenty minutes. Response times within the Cayucos Fire Protection District are two-to-three minutes. CDF/County Fire's fire suppression objectives are summarized in Table 3-6.

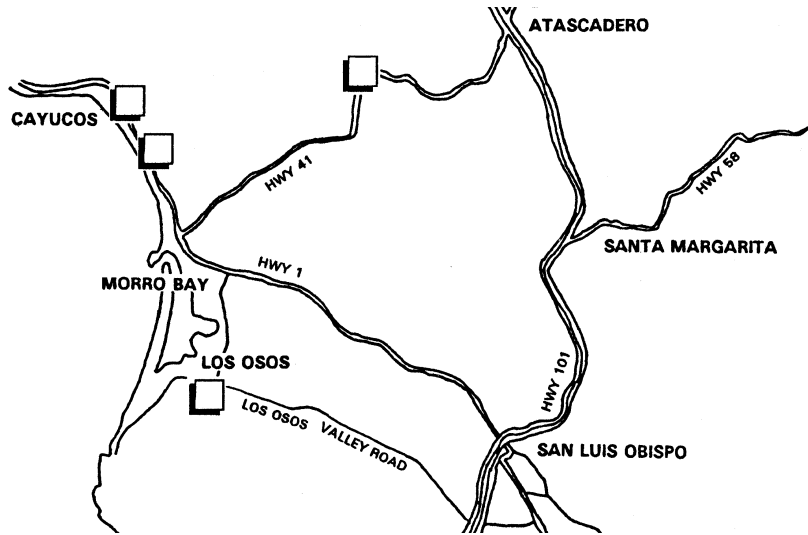


Figure 3-4: Fire Stations - Estero Planning Area

Table 3-6: Fire Suppression Objectives, CDF/County Fire

Activity	IV: Outlying Areas Low density areas outside any URL or VRL	III: Rural Areas RS densities; may be within a URL or VRL	II: Urban Areas RSF densities, 2 to 8 du/ac; within URL or VRL	I: Heavy Urban RMF densities, 8 to 20 du/ac; within a URL or VRL
Maximum elapsed time from dispatch to first application of extinguishing agents	15 min	12 min	10 min	6 min
Maximum elapsed time from dispatch to full assignment of personnel and equipment	25 min	20 min	15 min	10 min
Maximum elapsed time from receipt of alarm to initiation of suppression action for 90% of all fires	10 min	10 min	8 min	8 min

Source: *San Luis Obispo County Fire Department Fire Protection Plan, 1992*

J. Emergency Medical Services

Ambulance service is provided through contract with a privately-owned company. The contract currently is with San Luis Ambulance, which has stations in Morro Bay and San Luis Obispo that serve this Planning Area. There is no hospital in the Estero Planning Area. Those located nearest to the planning area are the privately-owned French and Sierra Vista hospitals in San Luis Obispo. These facilities provide emergency room treatment as well as major medical services. The California Highway Patrol and a private air ambulance service provide helicopter service for emergency transportation to the hospitals. The Cayucos Fire Protection District, the Morro Bay Fire Department, and CDF/County Fire all provide emergency medical response to the areas that they serve. Surf rescue is provided by the Morro Bay Fire Department, the Cayucos Fire Protection District and CDF/County Fire. In addition, CDF/County Fire has an interagency Technical Rescue Team (TRT) that provides all types of technical rescue response, including surf rescue. Both Cayucos and Los Osos would benefit from the establishment of urgent care medical clinics in those communities.

K. Libraries

Libraries in the Estero Planning Area are located in Cayucos, in Morro Bay and in Los Osos. Measures of service for public libraries have typically been expressed as the number of books or the amount of library floor space per capita. A 1962 study, still regarded as valid by library administrators, contains a guide for estimating the need for library services, based on a survey of libraries from across the country. This information is summarized in Table 3-7.

Table 3-7: Formulas for Library Facilities by Community Size

Community Size	Book Stock (Volumes per capita)	Total Square Feet per Capita
Under 10,000	3.5 to 5	0.7 to 0.8
10,000 to 35,000	2.75 to 3	0.6 to 0.65

Source: Adapted from *Practical Administration of Public Libraries* Wheeler & goldhov, 1962

Table 3-8 summarizes the adequacy of the existing library in Cayucos and indicates facility needs at buildout, in relation to the formulas in Table 3-7. It is clear that the existing facility is seriously inadequate. A new 7,000 square-foot library building is planned in Los Osos.

Table 3-8: Recommended Library Facilities

	Building Square Feet		Book Stock (# of Volumes)		Recommended at Buildout	
	2002 Actual	2002 Desirable	2002 Actual	2002 Desirable	Building Square Feet	Book Stock
Cayucos	800	2100-2400	9409	10600-15200	3300-3800	16700-23800

Increasing use of computers will provide greatly expanded opportunities for people to gain access to digitized information. Libraries can improve their level of service by providing patrons with links to the information network, in addition to increasing the amount of shelf space for book storage.

L. Human Services

All government offices providing counseling, mental health, welfare, family planning and other human services are located in the city of San Luis Obispo.

M. Air Quality

San Luis Obispo County is designated a "non-attainment" area for the California ozone and PM10 (fine particulate matter 10 microns or less in diameter) air quality standards. In response to this condition, the Board of Supervisors has certified a Resource Management System Level of Severity II for countywide air quality. Since 1982, air monitoring stations throughout the county have recorded ozone and PM10 levels in excess of the State standard. According to Air Pollution Control District data, the number of days exceeding the State ozone standard over the past decade has not varied greatly at most stations, while the number of days exceeding the State PM10 standard has remained fairly stable or declined at most stations. Over the past 11 years at the Morro Bay monitoring station, there have been relatively few days exceeding the State standards for ozone and PM10 concentrations. Ozone and PM10 levels recorded at the Morro Bay monitoring station in the Estero Planning Area and at the Nipomo and Paso Robles monitoring stations (for comparison) are shown in Tables 3-9 and 3-10.

PUBLIC FACILITIES, SERVICES AND RESOURCES: STATUS, NEEDS, POLICIES

The California Clean Air Act requires that non-attainment areas reduce their air pollution emissions by at least five percent per year, or 15 percent averaged over three years, from 1987 baseline levels. The law further requires the local Air Pollution Control District to adopt a plan to demonstrate how the required reductions will be achieved.

Table 3-9: Number of Days Exceeding State Ozone Standard

Location	1991	1992	1993	1994	1995	1996	1997	1998	1999	2000	2001
Morro Bay	1	1	0	0	0	0	0	0	1	0	0
Nipomo	0	0	1	0	0	1	0	N/A	0	0	0
Paso Robles	0	0	0	1	5	9	0	25	1	0	0

Source: *San Luis Obispo County Air Pollution Control District*

Table 3-10: Number of Days Exceeding State Ozone Standard

Location	1991	1992	1993	1994	1995	1996	1997	1998	1999	2000	2001
Morro Bay	0	0	2	0	0	0	1	0	0	0	0
Nipomo	0	0	1	1	1	0	N/A	0	0	0	2
Paso Robles	4	2	2	0	3	0	1	1	1	2	2

Note: PM₁₀ measurements are taken once every six days, or sixty times per year. Thus, a year in which the standard was exceeded on six days would have exceeded the standard on 10% of all measured days

Source: San Luis Obispo County Air Pollution Control District

The San Luis Obispo County Clean Air Plan was adopted by the Board of the Air Pollution Control District in 1992. The Plan includes a detailed description of the pollutants affecting the county, future air quality impacts to be expected under current growth trends, and appropriate strategies to reduce ozone precursor emissions, thereby improving air quality. The county implements the transportation and land use planning strategies recommended in the Clean Air Plan by incorporating these strategies into the Land Use and Circulation Elements of the County General Plan; for example, through updates of the area plans.

An overall goal of the Clean Air Plan is to reduce the growth of vehicle trips and miles traveled in urban areas to the rate of population growth within San Luis Obispo County. Adopting the following land use and circulation policies and programs will assist in reaching this goal: planning compact communities, providing for mixed-use development, balancing jobs and housing, increasing transit use, promoting bicycling and walking, and managing traffic flow. All of these measures are included in this area plan.

III. PROGRAMS

"Programs" are recommended non-mandatory actions to achieve community or areawide objectives identified in this plan. Implementation of each program is the responsibility of the county or other public agency identified in the program itself and in the table at the end of this chapter. Because programs (some of which include special studies) are recommended actions rather than mandatory requirements, implementation of any program should be based on consideration of community needs, community support and available funds.

The following programs are grouped under headings by type of resource or service.

A. Water

Cayucos

1. **Supplemental Water.** CSA 10A and applicable water purveyors should continue to pursue obtaining supplemental source(s) of water to accommodate buildout.
2. **Water Conservation.** The Cayucos water purveyors should set a goal of reducing total residential water demand by at least 20% and should cooperatively implement conservation programs involving measures such as public education, leak detection, landscape conversion, and various retrofit programs. For example, the water purveyors should jointly develop a voluntary program for retrofitting existing dwellings and businesses in order to earn additional water units and enable additional development within applicable growth management limitations.
3. **Consolidation of Water Purveyors.** The county, water purveyors, community, and LAFCo should study the possibility of consolidating all the water purveyors in a way that would be cost-beneficial to the community as a whole.
4. **Graywater Recycling.** The county should work with the public to encourage development and use of large-scale graywater recycling projects for irrigation in new development.
5. **Consolidation - Cayucos.** The county and the community should work with LAFCo to consolidate all urban services and facilities in Cayucos into a single comprehensive service district.

Rural Area

6. **Agricultural Water Supplies.** Maintain the quantity and quality of ground water resources currently consumed by production agriculture. Where sources of adequate wastewater quality are available, develop a program with appropriate agencies to use treated wastewater for irrigation.
7. **Water Management--Chorro & Morro Basins.** The county and city of Morro Bay should jointly develop a groundwater management program that results in

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cooperative planning among affected agencies. The program should encourage better recharge through use of percolation basins and consider drilling of new wells and changing the frequency of well pumping.

B. Wastewater

1. **Wastewater Recycling.** Sewage disposal agencies should work with the County Public Works and Health Departments and the Regional Water Quality Control Board to develop a program to find alternative uses for treated wastewater, such as irrigation (e.g. on agricultural lands and the Morro Bay Golf Course), groundwater recharge, and environmental enhancement.

C. Schools

1. **Elementary School Site--Cayucos.** The Cayucos Elementary School District and the county, Coastal Commission, and other responsible agencies should cooperate in evaluating and selecting an appropriate site for a new elementary school located within or as close as possible to the existing urban reserve line. As required by the Coastal Plan Policies, an LCP amendment will be required to expand the USL to any alternative not currently within the USL, so that services may be extended.
2. **School Closures.** When schools are planned to be closed, the applicable school districts should consult with the County Planning and Building and General Services Departments regarding future ownership and use of the sites.

D. Drainage

1. **Cayucos Drainage Plan.** The County Public Works Department should seek funding to implement the master drainage plan for Cayucos to prevent flooding, mudflows and associated storm damage, while maintaining natural drainage courses and taking into account groundwater recharge and cumulative drainage and geologic impacts of future development.

PLEASE REFER TO CHAPTER 6, SECTION VII FOR PROGRAMS
ABOUT RUNOFF CONTROL AND A DRAINAGE PLAN IN LOS OSOS

E. Government and Community Services

1. **Community Center--Cayucos.** The county should create a master plan and explore ways to finance expansion and use of the Veterans Memorial Building for multiple purposes, such as recreation, public assembly, and the arts.

F. Underground Utilities

1. **Undergrounding--Cayucos.** The county Underground Utilities Committee should work closely with the community of Cayucos to facilitate undergrounding of overhead utility lines.

G. Recycling

1. **Recycling/Green Waste.** The county should expand recycling and greenwaste recycling programs to cover the entire Estero Planning Area, and should encourage the Cayucos Sanitary District to establish a program for curbside collection and recycling of green waste.

The following table summarizes the preceding recommended programs to be implemented by the county or other public agencies. In the table, the first column, "Topic/Program No.," identifies the program by its number in the preceding text. The second column, "Program," identifies the subject of the program. The column under "Responsible Agencies" lists which public and/or private agencies have primary responsibility for carrying out each program. The column, "Potential Program Funding," lists potential sources of funding for each program. The column, "Time Frame," identifies whether each program is expected to be carried out over a short, medium, or long-term period, or whether the program requires an on-going effort. The column, "Target Date," lists the estimated date by which each program should be implemented. The last column, "Priority," ranks each program according to whether it has a high, medium or low priority for implementation. This will help decision makers and the public decide how to allocate limited funds. A key to abbreviations used in the table is located at the end of the table.

Table 3-11: Schedule for Completing Recommended Programs

PROGRAM NO.	PROGRAM	RESPONSIBLE AGENCIES	POTENTIAL FUNDING	TIME FRAME	TARGET DATE	PRIORITY
A. WATER						
A1.	SUPPLEMENTAL WATER	CSA 10A, WATER PURVEYORS	CSA 10A, WATER PURVEYORS	ON-GOING	ON-GOING	HIGH
A2.	CONSERVATION-CAYUCOS	WATER PURVEYORS	WATER PURVEYORS	SHORT-TERM	2005	HIGH
A3.	CONSOLIDATION OF PURVEYORS-CAYUCOS	PUB. WORKS, WATER PURVEYORS, LAFCO	COUNTY, WATER PURVEYORS	MED-TERM	2010	MEDIUM
A4.	GRAYWATER RECYCLING	CO. HEALTH, CO. PLANNING	GRANTS	LONG-TERM	2010+	MEDIUM
A5.	CAYUCOS CONSOLIDATION	COUNTY, LAFCO	COUNTY LAFCO	SHORT-TERM	2005+	MEDIUM
A6.	AGRICULTURAL WATER SUPPLIES	PUB. WORKS, SEWAGE DISPOSAL AGENCIES	GRANTS, LAND OWNERS	MED-TERM	2010	MEDIUM
A7.	CHORRO, MORRO BASINS	PUB. WORKS, CITY OF MORRO BAY	COUNTY, CITY OF MORRO BAY	MED-TERM	2010	MEDIUM
B. WASTEWATER						
B1.	WASTEWATER RECYCLING	PUB. WORKS, CO. HEALTH, RWQCB, SEWAGE	GRANTS, COUNTY, LAND-OWNERS	MED-TERM	2010	MEDIUM

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PROGRAM NO.	PROGRAM	RESPONSIBLE AGENCIES	POTENTIAL FUNDING	TIME FRAME	TARGET DATE	PRIORITY
		DISPOSAL AGENCIES				
C. SCHOOLS						
C1.	ELEMENTARY SITE – CAYUCOS	CAY. ELEM, CO. PLANNING	CAY. ELEM.	ON-GOING	ON-GOING	HIGH
C2.	SCHOOL CLOSURES	SCHOOL DISTRICTS, CO. PLANNING, CO. GEN. SVCS.	N/A	ON-GOING	ON-GOING	MEDIUM
D. DRAINAGE						
D1.	CAYUCOS DRAINAGE PLAN	PUB. WORKS	COUNTY, LAND-OWNERS	MED-TERM	2010	HIGH
E. GOVERNMENT AND COMMUNITY SERVICES						
E1.	COMMUNITY CENTER – CAYUCOS	CO. GEN. SVCS.	FACILITIES FEES, COUNTY	SHORT-TERM	2005	MEDIUM
F. UNDERGROUND UTILITIES						
F1.	CAYUCOS	COUNTY UNDERGROUND UTILITIES COMMITTEE	GRANTS, ASSESSMENT DISTRICTS	ON-GOING	ON-GOING	HIGH
G. RECYCLING						
G1.	RECYCLING/ GREEN WASTE	PUB. WORKS	FEES	SHORT-MED.-TERM	2005-2010	
Key to Abbreviations		<p>CO. PLANNING COUNTY DEPT. OF PLANNING AND BUILDING</p> <p>CO. HEALTH COUNTY HEALTH DEPARTMENT/ENVIRONMENTALHEALTH</p> <p>PUB. WORKS COUNTY PUBLIC WORKS DEPARTMENT</p> <p>CO. GEN. SVCS. COUNTY DEPT. OF GENERAL SERVICES</p> <p>RWQCB REGIONAL WATER QUALITY CONTROL BOARD</p> <p>LAFCO LOCAL AGENCY FORMATION COMMISSION</p> <p>WATER PURVEYORS (CAYUCOS) CSA#10A; MORRO ROCK MUTUAL; PASO ROBLES BEACH MUTUAL</p> <p>CAY ELEM CAYUCOS ELEMENTARY SCHOOL DISTRICT</p> <p>SLO COASTAL SAN LUIS COASTAL UNIFIED SCHOOL DISTRICT</p>				

CHAPTER 4: LAND USE POLICIES AND PROGRAMS



This chapter further defines a vision for the Estero Planning Area, discusses land use issues, sets land use policies, and recommends programs to implement those policies. The following sections discuss land use issues and policies by land use category as shown on the maps following Chapter 7:

- Areawide: describes issues affecting most or all of the planning area.
- Rural Area: discusses areas outside of urban reserve lines.
- Morro Bay Fringe Area: discusses land use issues in rural areas that may influence planning within the city of Morro Bay.
- Cayucos: discusses the area within the Cayucos urban reserve line.

Policies and programs for the following special features are discussed in Chapter 6: combining designations, Los Osos habitat conservation, and the Morro Bay Estuary and its watershed.

The last section in this chapter is Land Use Programs. It recommends actions to be taken by the county or other public agencies to help implement the goals and policies of this plan (the goals and policies are also implemented by development standards in Chapter 7).

Updated information regarding the community of Los Osos can be found in Appendix C of the Los Osos Community Plan.

I. AREAWIDE LAND USE, AND MARINE RESOURCES POLICY

A. Distribution of Land Uses (Zoning)

The primary method of allocating land use within the planning area is through mapping of 13 land use categories. The uses that are allowed within each category are shown in Table O in Framework For Planning - Coastal Zone. Further limitations on allowable uses may be set by planning area standards in Chapter 7.

The location and distribution of land use categories and the type and intensity of development allowed within them helps carry out the goals and policies of this plan. This plan provides a sufficient amount and arrangement of land use categories (zones) to meet projected population and economic growth until at least 2020, consistent with available resources and services. The location of land use categories is shown on the official maps on file in the Department of Planning and Building. They are also shown on the informational report maps following Chapter 7, but those maps are included for illustrative purposes only--they are not the official maps.

Table 4-1 summarizes the acreage of each land use category in the planning area. Land within the city of Morro Bay is not included in the totals.

B. Development Within Resource Capacities

1. Adequate public or private resource capacities shall be available to serve proposed development. Within urban areas, adequate water supply and sewage disposal capacities shall be available to serve both existing and potential development within the community before approval of new land divisions using those services. Land divisions requiring urban service extensions beyond the USL/URL shall be prohibited.

C. Marine Resources Policy

1. Make every effort to secure permanent protection and management of the county's significant marine resources using programs and legislation such as the national estuary, state and national marine sanctuary program, and other methods.

The county's off-shore waters contain environmentally and economically important resources, which are both directly and indirectly affected by land use in the planning area. Important environmental resources include the southern range of the California sea otter, gray whale migration routes and other resources found along the Morro Bay-Pecho Coast and the north Estero Bay rocky intertidal areas. Besides environmental protection, our marine resources are important for commercial fishing, aquaculture, recreation, tourism, scientific study, and their sheer beauty.

AREAWIDE LAND USE, AND MARINE RESOURCES POLICY

Table 4-1: Land Use Category Acreage¹

Land Use Categories	Rural Area	Cayucos	Planning Area Totals	Other Morro Bay Watershed ²
Agriculture	31,415		31,415	10,713
Rural Lands	731	-	731	752
Recreation	5,206	48	5,254	590
Open Space	1,553	-	913	2,059
Residential Rural	913	-	34	-
Residential Suburban	34	-	91	-
Residential Single Family	91	-	91	-
Residential Multi-Family	-	180	180	-
Office & Professional	-	70	70	-
Commercial Retail	-	6	6	-
Commercial Service	-	16	16	-
Public Facilities	-	1	1	2,865
Commercial Retail, Public Facilities	603	18	621	-
Office & Professional, Public Facilities	8	-	8	-
	3	-	3	-
Total Net Acreage	38,993	339	39,332	16,979
Total Gross Acreage³	39,474	551	40,025	17,023
<p>1 Figures do not include land within the city of Morro Bay or the community of Los Osos</p> <p>2. The portion of the Morro Bay watershed that lies outside of the Estero Planning Area (see Fig. 1-1)</p> <p>3. Gross acreage includes road rights-of-way</p>				

- New figures for Cayucos in the preceding table are determined using GIS. They cannot be directly compared to the old figures.
- New figures for the rural area cannot be directly compared to old figures—old figures do not reflect changes to planning area boundaries in 1990.

II. RURAL LAND USE POLICIES

1. Maintain agriculture and the rural character of the area.
2. Protect agriculture, open space and sensitive resources.
3. Maintain existing land use categories and agricultural uses in rural areas.
4. Avoid "leapfrog" development.
5. Protect ground water supplies for agriculture. Reject proposed general plan amendments that increase density or expand urban areas if resulting development would adversely affect ground water supplies, quality or recharge capability needed for agricultural uses.

The rural area includes lands outside the Los Osos, Morro Bay, and Cayucos urban reserve lines. It offers a spectacular natural setting: majestic volcanic peaks, green valleys, coastal terraces, and hillsides. The rural area is also valuable for agriculture, tourism, recreation, and watershed protection.

A. Open Space

1. Work closely with other agencies to protect and manage sensitive plants and animals, sensitive habitat and other open space features, with emphasis on entire ecosystems.
2. Slow the process of bay sedimentation, and support efforts to ensure that water quality supports recreation, agriculture, viable commercial fishing and shellfish mariculture industries, and a healthy ecosystem that harbors a diversity of wildlife.

Open Space categories in the rural area are publicly-owned lands that should generally be maintained in their natural state to preserve environmentally sensitive features and natural beauty. Most areas are available for passive, non-intensive recreational uses, but the level of public use should be compatible with the sensitivity of the land. Areas designated as open space include state-owned lands in the watershed of Whale Rock Reservoir, Morro Bay State Park within the unincorporated area, a portion of Morro Bay Estuary, and the "Estero Bluffs" State Park property between Cayucos and Villa Creek west of Highway 1. The Estero Bluffs property extends west of Cayucos for about three miles, between Highway 1 and the shoreline. The property contains valuable scenic, natural and cultural resources, and land uses should be consistent with protection of those resources. More details on the planning area's open space features are found in Chapters 3 and 6.

B. Agriculture

1. Provide incentives for landowners to maintain land in productive agricultural use; require affirmative agricultural easements where appropriate.
2. Maintain existing Agriculture land use categories in order to protect agricultural resources; do not convert agricultural land to other land use categories or revise

planning area standards so as to enable more intensive non-agricultural development; assure that residential development is necessary to or maintains Agricultural land uses to the maximum extent feasible.

The continued viability of commercial agricultural production is essential to the planning area and the county as a whole. The preceding policies will help maintain valuable agricultural and open space resources and protect the agricultural integrity of areas such as the Los Osos, Chorro, Morro, and Little Morro Valleys.

Los Osos Valley

3. Support creation of a greenbelt adjacent to the urban reserve line to clearly define the urban edge of Los Osos, prevent urban sprawl, discourage conversion of agricultural land, and protect unique and sensitive habitat, including wildlife corridors.
4. Promote uses such as high value crop and animal specialties on existing small parcels to help maintain the agricultural integrity of the area.
5. Protect scenic views, especially those of the hillsides and ridges of the Irish Hills as seen from Los Osos Valley Road without interfering with agricultural production.

In addition to retaining and encouraging agricultural production in the Los Osos Valley, this plan establishes an Irish Hills Scenic Backdrop and a Los Osos Valley Road Highway Corridor Design Area. This is consistent with the intent of the Agriculture and Open Space Element to establish scenic corridors along public roads and highways that have unique or outstanding scenic attributes. Planning area standards in Chapter 7 for those areas will also help implement preceding rural land use policies to protect the rural character of the area, open space and sensitive resources. The primary intent of the Scenic Backdrop and the Highway Corridor Design Area is to protect highly scenic views from heavily-traveled Los Osos Valley Road to the hillsides and ridges of the Irish Hills, thereby maintaining the largely undeveloped, open space character of those areas without interfering with agricultural production. In addition, the standards for those areas will help protect sensitive plant and animal habitats and watershed resources.

The Morros

6. Protect scenic vistas of the Morros.
7. Support cooperative efforts to develop a consensus-based plan for the Morros that conserves, enhances and manages its valuable resources, including agriculture.

The Morros is the chain of unique volcanic peaks, connecting ridges and associated hills that stretch from San Luis Obispo to Morro Bay and separate the Los Osos and Chorro Valleys. This chain of peaks forms spectacular scenic backdrops and natural landmarks that rise above the valley floor and help define the character of the area. This area is identified as a proposed natural area in the Agriculture and Open Space Element and in the Natural Areas Plan. (see Chapter 7, Planning Area Standards).

RURAL LAND USE POLICIES

Besides their outstanding scenic qualities, the Morros contains valuable agricultural, environmental, historic, cultural, and recreational resources.

The "Morros Planning Area" is located within the Estero and San Luis Obispo Planning Areas and extends from the ocean to the city of San Luis Obispo near Cerro San Luis. The primary study area totals about 13,000 acres. A specific plan is being prepared for the Morros Planning Area, consistent with the goals and policies of this plan. The specific plan should deal with issues such as protecting and enhancing agricultural viability, protecting natural resources, and providing recreation. A guiding principle should be to balance concern for property rights with protection of resources.

Chorro, Morro, and Little Morro Valleys

8. Protect the Chorro, Morro and Little Morro Valleys for continued agricultural use, retaining the larger parcels for cropland and grazing uses while allowing plant and animal specialties on smaller parcels.
9. Prevent urban development outside the Morro Bay city limits, and direct future growth onto developable, non-prime lands within the city.

Southern Marine Terrace

10. Protect open space and sensitive resources on the coastal terrace to the south of Cayucos.

Due to the area's sensitive habitat and scenic character, and the community's desire to maintain a hard edge around Cayucos, urban or suburban development is not appropriate. Instead, it should occur within the existing Cayucos urban reserve line.

Estero Marine Terminal Property (see Figure 4-1)

11. Require a plan for the decommissioning of marine terminal facilities, correction of any hazardous conditions, and restoration of the site to enable future use that is consistent with the Agriculture land use category.
12. Pursue improved coastal access and amenities such as a bicycle and pedestrian path connection between Cayucos and the city of Morro Bay.
13. The marine terminal and associated petroleum storage tanks on the hillsides near Highway 1 and Toro Creek Road are considered non-conforming uses and are no longer in active use. Storage tanks and other above-ground equipment should be removed, and the site should be restored and environmental hazards mitigated as needed. All subsequent development should be consistent with the Agriculture land use category. Intensive development of this area is not intended, and its open space character needs to be preserved.



Figure 4-1: Estero Marine Terminal Ownership

C. Rural Lands

Cayucos Hillside (see Figure 4-2)

1. Facilitate discussion and pursue agreements between owners of lots in the Cayucos hillside, the community of Cayucos and conservation organizations in order to resolve hillside development issues.
2. Continue to acquire properties through tax defaults and either retain them in public ownership, pursue strategies such as agreements with non-profit conservation organizations to maintain the properties in open space use, or enable mergers with adjacent agricultural land that permanently retain the properties in agricultural or open space use.

The hillside portions of the undeveloped Morro Rock View and Morro Strand subdivisions east of Cayucos were excessively subdivided many years ago in relation to the steep slide-prone character of the slopes. These lots are included in the Rural Lands land use category and lie outside of the Cayucos urban reserve line in order to reflect the current unavailability of urban services and facilities such as community water and sewage disposal. All of these lots are subject to a high or very high potential for landslide hazards, according to the Safety Element of the County General Plan. The lack of services and facilities, together with the need for providing appropriate access and a solution to drainage, geologic and slope stability concerns, has posed obstacles to development of this area to date.

At this time, development in the hillside is unlikely and highly problematic. However, creative solutions to concerns about development in these hillside could be explored through a dialogue between lot owners and the community. Possible solutions include either or both of the following, which could apply to portions of or to the entire hillside:

- Formation of a regional open space district or other entity that will fund acquisition of hillside lots over a long period of time and maintain them as open space. Formation of such a district is subject to voter approval.
- Participation in a transfer of development credits (TDC) program that allows development credits to be transferred away from hillside lots to locations that are more suitable for development near Cayucos.

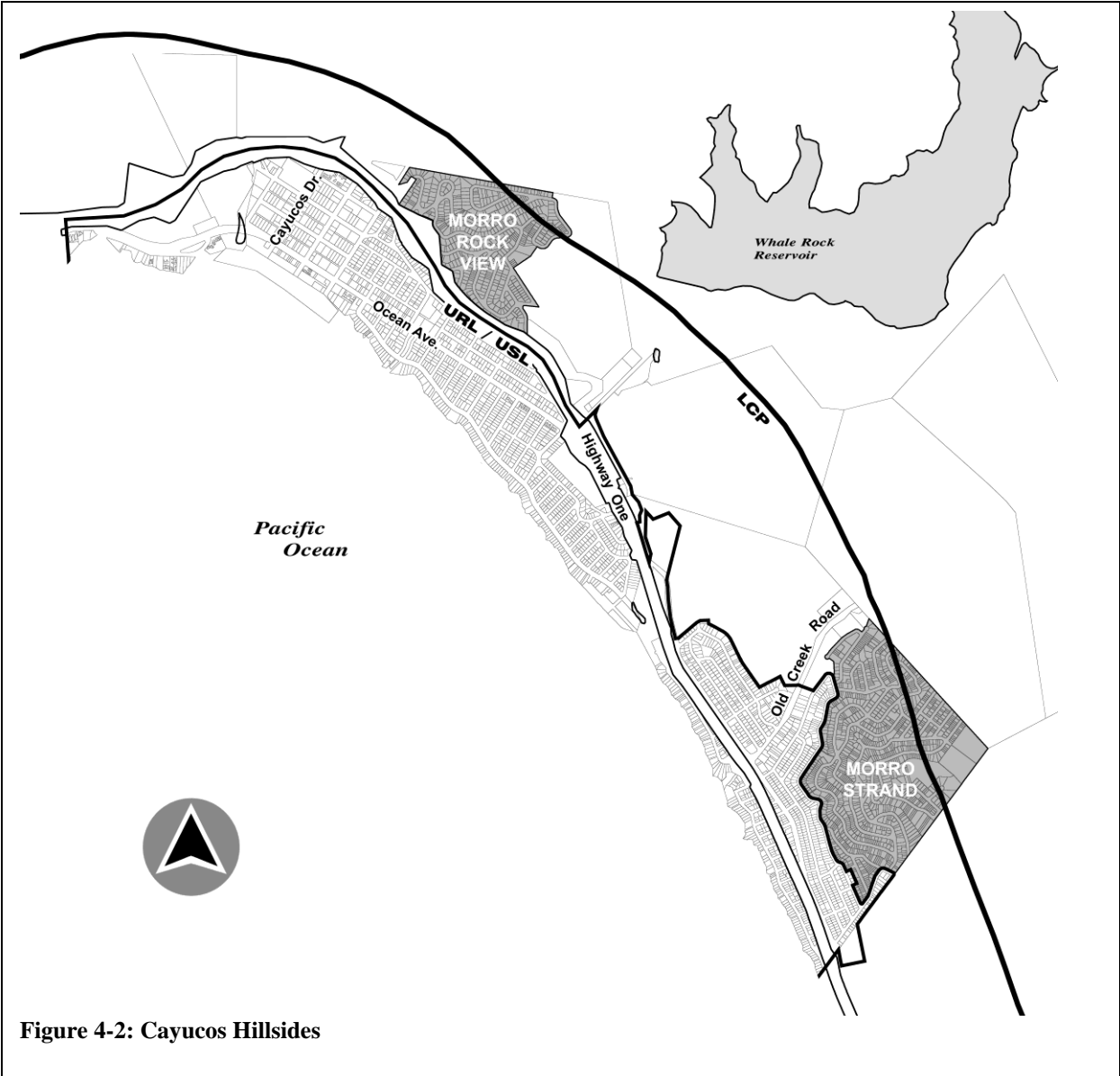


Figure 4-2: Cayucos Hillside

Until a comprehensive solution is found to the concerns about development of the hillsides, the county should continue to retain properties acquired through tax defaults in order to reduce potential environmental impacts of development on these relatively small lots. Such properties could eventually be assembled into an open space preserve or greenbelt maintained by the county or another entity.

D. Recreation

- 1. Promote development of recreational and visitor-serving uses, especially lower-cost opportunities, consistent with protection of agriculture and sensitive resources.

MORRO BAY FRINGE LAND USE POLICIES

2. Locate new intensive recreational facilities and major visitor-serving commercial development within or immediately adjacent to urban areas on sites that do not contain prime agricultural land or significant sensitive habitat.
3. Limit uses to open space, recreation and visitor-serving-related uses.
4. Pursue improved coastal access and amenities south of Cayucos, such as a bicycle and pedestrian path connection between Cayucos and the city of Morro Bay.

The outstanding natural setting of the planning area offers great potential for recreational and visitor-serving and tourist-oriented development, including lower-cost facilities. Such development can help meet the public's need for recreation and visitor services, while benefitting the economies of local communities and the county as a whole.

E. Residential Suburban

1. Do not move urban reserve lines to encompass existing Residential Suburban categories outside existing urban reserve lines.
2. Retain the existing land use categories, but do not expand them or increase allowable densities.
3. Direct suburban development to areas within the Los Osos urban reserve line that are suitable for development.

An area of mostly one-acre lots on the north side of Los Osos Valley Road between the Los Osos Valley Memorial Cemetery and Los Osos Creek excluded from the Los Osos urban area in order to maintain the integrity of the existing urban reserve line and avoid setting a precedent for urban sprawl next to prime agricultural land. Moreover, substantial undeveloped Residential Suburban areas occur in the eastern part of the Los Osos urban reserve area.

An area of one to five-acre home sites at the intersection of San Luisito Creek Road and Highway 1 is surrounded by prime agricultural lands and other lands suitable for agriculture, and expansion of this category or increases in allowable density should not be permitted.

III. MORRO BAY FRINGE LAND USE POLICIES

1. Prevent urban development outside the Morro Bay city limits, and direct future growth onto developable, non-prime lands within the city.
2. Establish a "project referral area" that includes the Morro and Chorro Creek hydrologic basins within the sphere of influence of the city of Morro Bay. Refer to the city for its review and comment proposed development subject to discretionary review.

The city of Morro Bay is located between the communities of Los Osos and Cayucos. The urban reserve line is located at the city limits. This reflects existing service constraints, as

well as the availability of substantial undeveloped areas within the existing city limits that can accommodate future growth.

To ensure cooperative land use planning between the city and county, a "project referral area" is established around those lands that may have an influence on land use planning within the city's sphere of influence. Since water availability from the Morro and Chorro Creek groundwater basins is of great concern to the city, the project referral area includes those areas.

This plan should be periodically reviewed to determine if changes are needed to reflect the city general plan, should it conflict with county policies.

IV. CAYUCOS LAND USE POLICIES

Cayucos is a picturesque seaside community located approximately three miles north of the city of Morro Bay at the gateway to the scenic north coast. The Cayucos urban area is located in a spectacular natural setting, as the community lies on the coastal terrace, enjoys beautiful views of Estero Bay and the Pacific Ocean, and is closely bordered by a scenic backdrop of steep hillsides on the north and east.

The urban reserve line (URL) encompasses about 550 acres. Development should occur within the existing URL, primarily on existing lots.

Cayucos is divided into separate neighborhoods for reference purposes. These areas are named and shown in Figure 4-3.

A. General Policies

1. Provide for development that meets the needs of residents and visitors and that can be sustained by available public facilities and resources.
2. Generally do not expand the urban reserve line (URL) shown in this plan.
3. Support efforts to acquire and develop a new elementary school on an appropriate site as close as possible to the existing urban reserve line. In the event that an appropriate elementary school site is selected outside and in close proximity to the existing URL, the URL and urban services line should be extended to include that site, and the needed land use category change should be initiated.
4. Encourage "in-fill" development within the existing URL that emphasizes mixed uses.
5. Support creation of a greenbelt adjacent to the urban reserve line to clearly define the urban edge of Cayucos, prevent urban sprawl, maintain agricultural resources, protect critical habitat of sensitive plants and animals, and protect scenic qualities. Offer incentives for landowners to participate in a greenbelt program.
6. Increase opportunities for affordable housing by allowing limited residential development in office and commercial areas.

CAYUCOS LAND USE POLICIES

7. Retain properties acquired through tax defaults where the entire lot is located on slopes greater than 30 percent or within a Geologic Study Area combining designation in order to reduce potential impacts of development (see Chapters 6 and 7).
8. Phase development in accordance with available water supplies.

The following table gives an example of estimates of the amount of development within the Cayucos Urban Reserve Line that could be accommodated by different amounts of water, using various assumptions. It is meant to be illustrative only, consistent with Program A7, Agricultural Water Supplies, in Chapter 3, Section III in this plan. The actual amount of development that could be accommodated will vary depending on factors such as actual water usage, water conservation programs, ratio of residential to non-residential development, and occupancy rates. This table does not separately address the district of each of the three water purveyors. For additional information on water supply, please refer to Chapter 3, Section II, Public Facilities, Services and Resources: Status, Needs, Policies.

Table 4-2: Cayucos Water Supply and Residential Development

Scenario	Time-Frame	Total Water Supply (acre-feet per year)	Dwelling Units (buildout: 2,505)
1	Short-medium	600	2,438
2	Medium-long	600	2,472
3	Long-term	710	2,894
4	Long-term	760	3,084

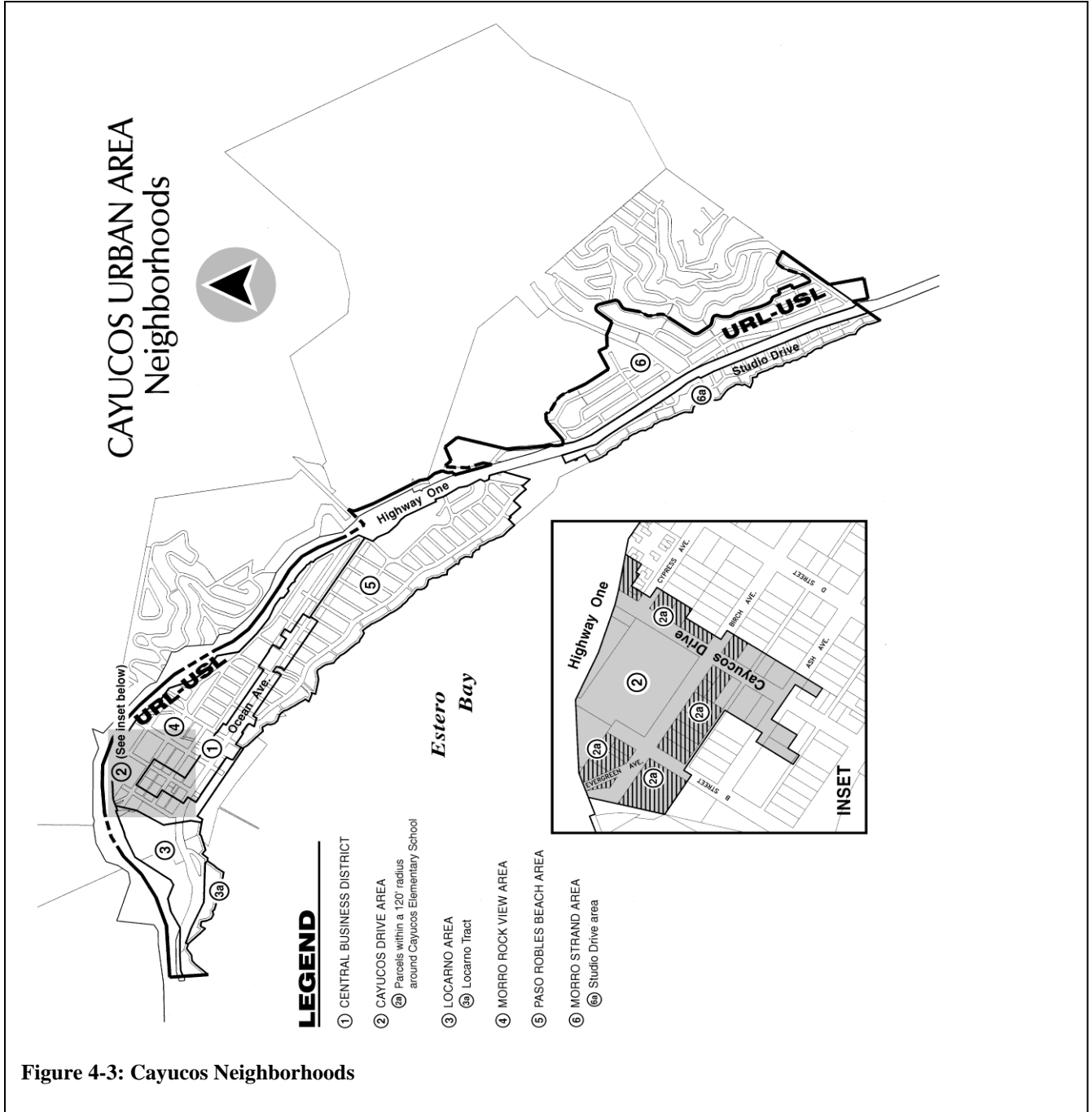
Assumptions:

- A 10% planning "cushion" is included in the demand figures as required by the Board of Supervisors
- Water use for existing development: 0.2643 acre-feet per dwelling per year
- Water use for new development: 0.2254 acre-feet per dwelling per year
- The ratio of residential to non-residential development will remain constant in the future such that residential development will account for about 86% of the total residential plus non-residential water demand
- Water demand for the cemetery will remain constant at 18 acre-feet per year
- "100 percent retrofitting" assumes a 20% reduction in water demand for existing residential development and a 10% reduction in water demand for existing non-residential development

Scenario 1: 70% occupancy for existing development; 91% for new development

Scenarios 2, 3, 4: 100% retrofitting; 87.25% occupancy for existing development and 91% for new development (these occupancy rates are currently seen as being the most realistic, as they are based on recent occupancy data provided by the Cayucos Area Water Organization water purveyors)

Scenarios 3,4: Supplemental water obtained; RMF density of 15 dwelling units per acre would result in a buildout of 2,796 dwelling units



B. Recreation

1. Develop additional neighborhood and community parks and recreational facilities to serve existing and future populations (for specific recommendations, see Section VI, Programs).
2. Develop and maintain accepted beach access ways for safe, public use.

This category includes beaches and shoreline areas, the Veterans Memorial Building and associated facilities, and Hardie Park.

Hardie Park contains the community's park facilities, but Cayucos needs additional neighborhood and community park acreage in order to adequately serve the existing and projected future populations (see Chapter 3, Section E, Parks).

The Veterans Memorial Building should be expanded and remodeled to accommodate a variety of social and cultural activities (see Chapter 3, Section III, Programs).

C. Residential Single-Family

1. Preserve and enhance the unique character of single-family neighborhoods.
2. Maintain the small-scale character of the Pacific Avenue and Studio Drive neighborhoods.

Single-family houses on small lots help give Cayucos its unique character. This character should be enhanced and preserved as new development occurs.

There has been much debate in the community over how development should be designed in order to maintain the small-scale character of the Pacific Avenue (within Paso Robles Beach) and Studio Drive neighborhoods, which are identified as community small-scale design neighborhoods. This issue came to the forefront as larger, two-story homes were built over the years, somewhat changing the character of these neighborhoods. In response, this plan includes standards regarding heights, lot coverage and structural areas, setbacks, and other design measures (see Chapter 7, Section V. Cayucos Urban Area Standards, RSF category). These standards give owners more options to achieve the desired small-scale character, while balancing neighborhood concerns over large structures that block views, and property owner concerns about the ability to build reasonably-sized homes.

Planning area standards and design guidelines are also included for areas that are outside of the small-scale design neighborhoods in order to encourage development that is in scale with the neighborhood, encourage designs that create visual relief and interest, and discourage crowded, massive-appearing buildings. These guidelines and standards respond to community concerns, especially in hillside areas, about massive buildings on relatively small lots, and about high, uninterrupted, and stark exterior walls.

D. Residential Multi-Family

1. Promote multi-family development that is compatible with surrounding development in the area between Cayucos Drive and E Streets northeast of the central business district.

Residential Multi-Family categories are located throughout the community. One such area is located between Cayucos Drive and 'E' Streets on the northeast side of the central business district. That is one of the few areas of the community where lots and ownerships are large enough for multi-family development. Such

development should be encouraged there, where residents can walk downtown and to the beach. However, multi-family development should be designed to be sensitive to existing single-family homes. Construction of moderate-income housing is encouraged in order to replace the loss of affordable housing due to conversion of older, smaller housing stock into higher-priced homes.

Multi-family densities have been reduced in this plan so that the available water supply will come closer to sustaining the buildout population. However, provisions are built into this plan to allow higher multi-family densities when sufficient supplemental water is obtained. The recommended densities balance the Housing Element goals of providing increased opportunities for multi-family housing with Coastal Act goals and policies to assure that the projected future population can be accommodated by the available water supply. In that way, the recommended densities are consistent with the Housing Element.

E. Central Business District--General Policies

The core of the central business district (CBD) is the Commercial Retail land use category located along Ocean Avenue between B Street and 4th Street. However, the CBD also includes other areas in the Office and Professional and Commercial Service categories. The following policies apply to the CBD in general:

1. Concentrate office and commercial development within the existing CBD boundaries.
2. Generally maintain the boundaries of the CBD as shown in this plan.
3. Generally maintain the amount and location of office and commercial zoning as shown in this plan.
4. Facilitate a pedestrian-friendly environment.
5. Provide additional parking, especially between B and E Streets, using a variety of means.
6. Provide new opportunities and incentives for incidental residential development within the CBD that does not diminish the visitor-serving emphasis of the area.

One general concern in the CBD is poor pedestrian access. Pedestrian access is to be improved by a) orienting buildings to the street; b) providing safe and convenient pedestrian connections between businesses, activity centers and parking; and c) making pedestrian areas and other public spaces more attractive.

A major concern downtown is inadequate and inconvenient parking, especially on holidays, weekends and during the summer. More parking is needed--especially between B and E Streets--for visitors to the beach, merchants, and the customers and employees of businesses. This plan proposes a downtown enhancement plan and programs to provide additional parking. Some ways to do so are to encourage formation of a parking district, establish short-term parking, encourage privately-owned public parking, provide additional public parking on public streets, and

encourage businesses to allow public use of their parking lots during non-business hours (see Section VI, Programs).

This plan encourages limited residential development in the CBD (mixed-use development) in order to promote downtown activity, while providing a balance between visitor-serving and community-serving uses and meeting the intent of the visitor-serving designation. Such development can also increase choice in housing and provide opportunities for more affordable housing. Planning area standards in Chapter 7 help assure that residential development will be located so as not to diminish opportunities, parking and access for visitor-serving uses, which are still given priority in the CBD. For example, potential residential development within the central business district should not cause a net reduction in lodging and visitor-serving opportunities, because this plan limits residential buildout to the level that could occur anyway if only care-takers residences were developed, as allowable per the Coastal Zone Land Use Ordinance. In addition, this plan limits residential development to the upper floor(s) only, and generally precludes residential additions to and conversions of lodging establishments. The increased parking requirement for mixed-use residential development in this plan should help improve the parking situation for both visitor-serving and community-serving uses.

F. Office and Professional

Cayucos Drive Area

1. Allow single-family and multi-family residential uses as principal uses, and establish development and design standards to assure compatibility between residential and non-residential uses.
2. Ensure compatibility with Cayucos Elementary School when reviewing the type and design of proposed development along Birch Street.

The area in the vicinity of Cayucos Drive between Ocean and Birch Avenues contains both office and residential uses. Residential single-family and multi-family uses should be allowable as principal uses in order to allow more development options, maintain and enhance the character of this area as a mixed-use neighborhood, encourage housing near downtown, encourage opportunities for more affordable housing, and eliminate the non-conforming status of a number of existing residences. New development needs to be compatible with a residential and pedestrian scale, compatible with the Cayucos Elementary School, and consistent with safety of school children. Allowable uses across the street from the school on Birch Avenue are limited accordingly.

G. Commercial Retail

General Policies

1. Retain and do not expand the extent of the existing commercial categories.
2. Maintain the existing small scale of development.

3. Provide a balance of community-serving and visitor-serving businesses and uses.
4. Maintain existing visitor-serving priority areas ("V" combining designation), but provide opportunities for incidental residential development that meets the intent of the visitor-serving designation.
5. Require development to be consistent with a common development theme.

Neighborhood Commercial

6. Assure that neighborhood commercial development is compatible with the scale of surrounding residential development.

Cayucos has three distinct types of commercial areas: a central business district (CBD), neighborhood commercial areas, and tourist-oriented areas. A balance should be sought between visitor-serving and community-serving uses so that the residential and visitor-serving segments of the community can be successful and mutually beneficial (see the discussion in preceding Section E., Central Business District-General Policies). Some expansion of tourist-commercial uses can occur in the CBD.

The scale of existing commercial development in Cayucos is much like the residential development: it is personal and oriented to the individual. This scale should be maintained through height limits, pedestrian orientation and other design measures.

Maintaining a consistent design theme in the downtown area could help retain the historic identity of Cayucos. New development should be consistent with common facade treatments that reflect western, Victorian or nautical/seaside themes.

H. Commercial Service

1. Ensure that the type and design of proposed development is compatible with Cayucos Elementary School and adjacent land use categories.

This category reflects several existing service commercial uses located on the northeast side of the central business district in an approximately one-acre area. Future development must be compatible with existing and future residential development, compatible with the elementary school and consistent with the safety of school children. Allowable uses across the street from the elementary school are limited accordingly.

I. Public Facilities

This category includes the elementary school, school bus shelter, CDF and Cayucos fire stations, cemetery, water treatment plant site, and post office. Programs for a new elementary school are found in Chapter 3, Public Facilities, Services, and Resources. The locations of proposed public facilities are noted on the combining designation map for Cayucos following Chapter 7.

V. PROGRAMS

"Programs" are recommended non-mandatory actions to achieve community or areawide objectives identified in this area plan. Implementation of each LUE program is the responsibility of the county or other public agency identified in the program itself and in the table at the end of this chapter. Because programs (some of which include special studies) are recommended actions rather than mandatory requirements, implementation of any program should be based on consideration of community needs, community support and available funds.

Land use programs for the Estero Planning Area are grouped under the headings Land Use and Parks, and also by general area and/or subject. Programs about the Morro Bay Estuary and its watershed are listed in Chapter 6. Programs regarding trails and coastal access are listed in Chapters 5 and 8.

A. Land Use, Rural Estero Area & Adelaida Planning Area

Except for Program 2, the following programs apply to portions of the Estero Planning Area outside of urban and village reserve lines, and are listed by subject.

Agriculture

1. **Agricultural Preserves.** The county should continue to encourage eligible property owners of eligible lands to participate in the agricultural preserve program.

Adeladia Planning Area

2. **Adelaida General Plan/LUO Amendments.** The county should process an amendment to the Adelaida Area Plan and the Land Use Ordinance to accomplish the following:
 - a. Establish a new Sensitive Resource Area (SRA) combining or similar designation and accompanying planning area standards to protect the viewshed as seen from Highway 1 in the vicinity of Cayucos.
 - b. Delete the Energy or Extractive Area (EX) combining designation for the Standard Oil Company Tank Farm.
 - c. Establish a referral area, within which certain commercial, industrial or other projects that have potential to release contaminants within the watershed of Whale Rock Reservoir are referred to the County Environmental Health Division for review and recommendations.
 - d. Add planning area standards for the Estero Marine Terminal ownership that correspond with those contained in the Estero Area Plan.

B. Land Use, Cayucos and Vicinity

1. **Town Square.** The county should work with the community and business and property owners to investigate the possibility of developing a town square or central park in the central business district.
2. **Seawalls.**
 - a. Permits. The county should find ways to simplify the permit process for seawalls, such as establishing criteria for approval and creating an easy-to-understand checklist of key requirements for applicants.
3. **Tax Defaults.**
 - a. Within the Urban Reserve Line. In order to reduce potential impacts of development, the county should retain properties acquired through tax defaults where the entire lot is located on slopes greater than 30 percent or within a Geologic Study Area combining designation (see Chapters 6 and 7).
 - b. Outside the Urban Reserve Line. In order to reduce potential environmental impacts of development, the county should retain properties acquired through tax defaults in the Morro Strand and Morro Rock View subdivisions outside of the urban reserve line.
4. **TDC Program.** The county should consider implementing a community-based transfer of development credits (TDC) program that encourages shifting development potential from areas with important environmental and open space features to areas within the urban reserve line that are appropriate for higher intensity development.
5. **Specific Plan or Development Plan West of Cayucos Creek.** The county should encourage owners of properties west of Cayucos Creek shown in Figure 4-5 to participate in preparation of a specific plan or Development Plan for that area. The specific plan or Development Plan should integrate land uses on the north side of North Ocean Avenue and provide for connections between those uses. It should provide for recreation opportunities, and provide for convenient bicycle and pedestrian connections to the central business district, including improved access across Cayucos Creek.
6. **Downtown Enhancement.** The County Department of Planning and Building should work with the community to form a business improvement district (B.I.D.) or other assessment district, seek funding for, and facilitate implementation of a phased series of improvements to a portion of the downtown. A B.I.D. or other assessment district should be responsible for on-going maintenance of landscaping, lighting, street furniture, and other amenities, as well as for other business district functions. A B.I.D. or other assessment district may need to assist in funding improvements, and such improvements should be funded through sources that do not compete with funding for road maintenance and transportation capacity enhancement. The objectives of the downtown improvements are to:
 - increase the amount of parking
 - improve streets, sidewalks, access, and safety
 - make the downtown more pedestrian-friendly

PROGRAMS

- enhance the appearance of the area
- promote activity, especially business activity

The improvements must maintain the existing character of the community as a beach town having a small-scale appearance, and must include appropriate drainage improvements. The improvements should include the following, listed in priority order:

Phase 1: Provide a large net increase in the existing number of formally designated public parking spaces within a one-block radius of Ocean Front Street through means such as:

- a. Reconfiguring the parking arrangement in the public parking lot adjacent to the Veterans Memorial Building for greater efficiency (a later phase could include attractive landscaping and lighting)
- b. Creating angled parking areas along the blocks of D and E Streets that are immediately northeast of North Ocean Avenue within the central business district
- c. Creating a parking area at the seaward terminus of E Street
- d. Creating angled parking spaces along North Ocean Avenue leading to B Street and along B Street to Ash Street consistent with wetland and other sensitive resource protection standards.

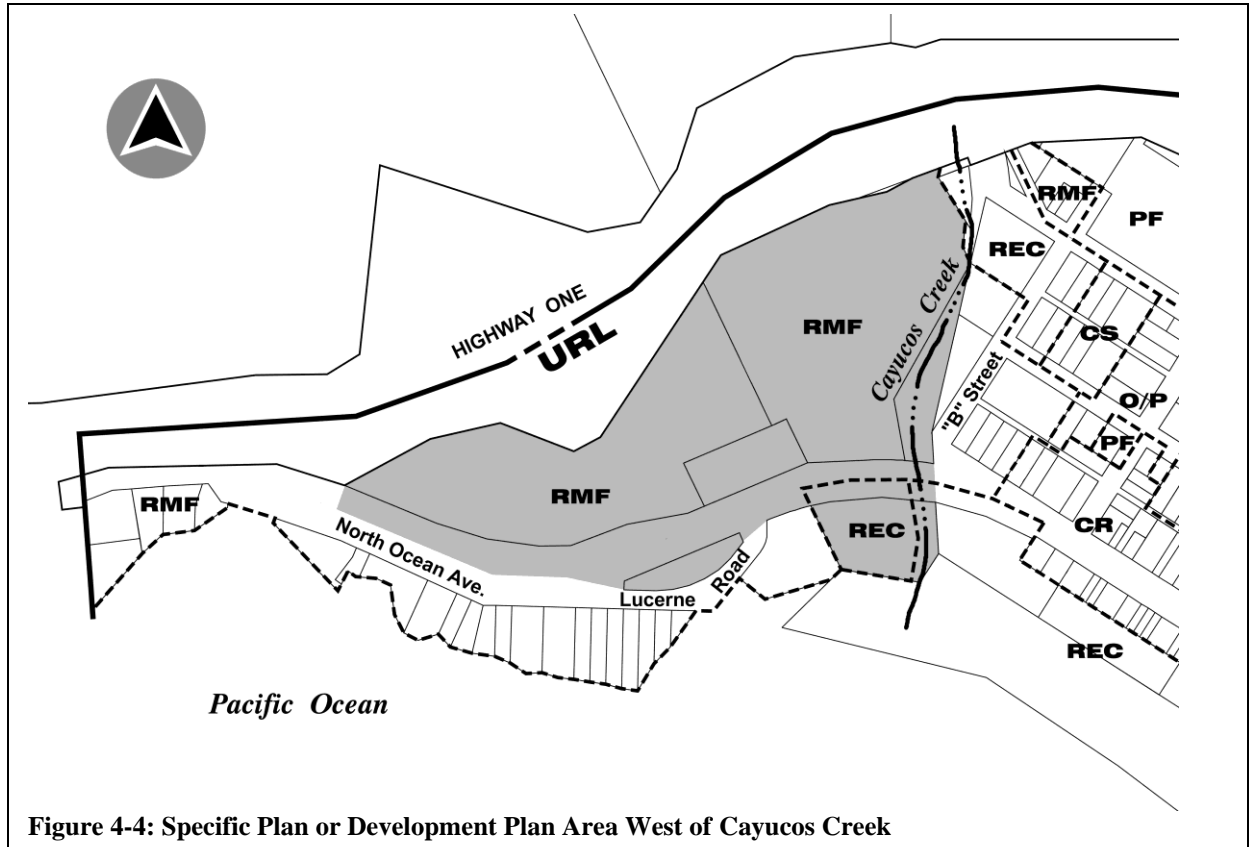


Figure 4-4: Specific Plan or Development Plan Area West of Cayucos Creek

Phase 2: Reconfigure Ocean Front Street and the parking area southeast of D Street to create a pedestrian promenade that could become a premier attraction and destination of the Estero Bay and North Coast areas. Create a public place where people wish to visit, window shop, dine, and spend time. Encourage businesses to orient their entrances to Ocean Front Street. Install drainage improvements as appropriate. Consider including the following features:

- a. A wide pedestrian walkway adjacent to the beach with seating areas, small-scale, low-maintenance landscaping, and small-scale lighting
- b. A sidewalk adjacent to the buildings
- c. A new seawall that incorporates handicapped-accessible observation areas overlooking the beach
- d. Replacement of the existing public restrooms with new ones that could be located in the vicinity of D Street and/or attached to the outside of the Veterans Memorial Building

Phase 3: Make various improvements along North Ocean Avenue in order to improve pedestrian access and safety, including "calming" traffic, and make the area more attractive, while reinforcing the community's historic character and identity. Improvements could include the following:

PROGRAMS

- a. Widened sidewalks, with seating areas and landscaping
- b. Textured crosswalks, especially at the intersection with Cayucos Drive
- c. Islands with community identification signs at the each end of the area shown in the enhancement plan concept
- d. Subtle "bulb-outs" at intersections to slow-down or "calm" traffic

Phase 4: Install a trail from Hardie Park to the Veterans Memorial Building and make a connection to the proposed promenade (see Phase 2)

Additional opportunities for enhancing the downtown area, together with potential constraints and issues that would need to be considered, are illustrated and described in Figure F-4 in Appendix E.

7. **Geologic Study.** The county should encourage preparation and subsequent implementation of the recommendations of a study of the cumulative geologic impacts of future development in hillsides areas within the urban reserve line. The study should include recommendations to avoid and correct geologic and associated hazards such as flooding, and strategies to implement those recommendations, consistent with the Safety Element.

C. State Parks

1. **Montaña de Oro and Morro Bay State Parks.** The State Department of Parks and Recreation should solicit and take into consideration timely community review of proposed improvements at or expansion of Montaña de Oro or Morro Bay State Parks.
2. **Old Creek and Willow Creek.** The State Department of Parks and Recreation should improve the state park at Old Creek and Willow Creek consistent with protection of creek and wetland habitats. Improvements should include adequate parking, restrooms and trails.
3. **Morro Strand State Beach Improvements.** The State Department of Parks and Recreation should complete the following improvements, consistent with protection of sensitive wetland habitat:
 - a. A paved parking area south of Old Creek.
 - b. Picnic tables and restrooms.
 - c. Interpretive signs describing the Old Creek lagoon and riparian habitat.

D. County Parks, Cayucos and Vicinity

1. **Recreation Facility Design.** The county should offer recreational programs and activities that serve all age groups, with particular emphasis placed on facilities and organized activities for senior citizens and school-aged youths.

2. **Cayucos Parks.** The county should provide a total of about 28 acres of neighborhood and community parkland in Cayucos. The following or equivalent sites should be considered in order to meet this objective:
 - a. Cayucos Neighborhood Parks. The county should develop two neighborhood parks in Cayucos. At least one of those parks should be located on the east side of Highway 1, such as the proposed park site located adjacent to Highway 1, near the cemetery.
 - b. Coastal Bluff Park and Coastal Access Between Cayucos and Morro Bay. The county or other applicable agency should acquire and develop a park on the coastal bluff between Cayucos and Morro Bay, south of Studio Drive, and should acquire and improve coastal access between Cayucos and Morro Bay, as follows:
 - (1) The park should be primarily for pedestrian use, and could include an interpretive display(s) about the coastal environment and the federally-listed Western snowy plover.
 - (2) An off-highway bike path should be built connecting Cayucos and Morro Bay.
 - (3) The sandy beach between Cayucos and Morro Bay should be acquired or offered for dedication.
 - (4) Possible dedication and funding for development of a park site should be explored in connection with proposed private development on the larger ownership.
 - (5) Development should protect and enhance sensitive habitat, including habitat for the federally-listed Western snowy plover. Environmental review for improvements should include consultation with the U.S. Fish and Wildlife Service. Public access may need to be seasonally limited to protect the snowy plover.
3. **Joint Use of School Facilities.** If a new school is developed, the county and the Cayucos Elementary School District should develop a joint powers agreement for public use of school facilities.

The following table summarizes the preceding recommended programs to be implemented by the county or other public agencies. In the table, the first column, "Program No.," identifies the program by its number in the preceding text. The second column, "Program," identifies the subject of the program. The column under "Responsible Agencies" lists which public and/or private agencies have primary responsibility for carrying out each program. The column, "Potential Program Funding," lists potential sources of funding for each program. The column, "Time Frame," identifies whether each program is expected to be carried out over a short, medium, or long-term period, or whether the program requires an on-going effort. The column, "Target Date," lists the estimated date by which each program should be implemented. The last column, "Priority," ranks each program according to whether it has a high, medium or low priority for implementation. This will help decision makers and the public decide how to allocate limited funds.

PROGRAMS

Table 4-3: Schedule for Completing Recommended Programs

Program No.	Program	Responsible Agencies	Potential Funding	Time Frame	Target Date	Priority
A. Land Use, Rural Area & Adelaida						
A1.	Ag Preserves	Co. Planning, Co. Ag.	County	On-Going	On-Going	High
A2.	Adelaida General Plan Amendments	Co. Planning	County	Short-Term	2005	High
B. Land Use, Cayucos & Vicinity						
B1.	Town Square	Co. Planning	Assmt.Dst. , Developer	Long-Term	2010+	Medium
B2.	Seawalls: Lcp Amendments	Co. Planning	County	Short-Term	2005	Medium
B3.	Tax Defaults	Co. General Services	County	On-Going	On-Going	High
B4.	Tdc Program	Co. Planning	County	Short-Term	2005	Medium
B5.	Specific Plan Or Development Plan West Of Cayucos Creek	Co. Planning	County	Long-Term	2010+	Medium
B6.	Cayucos Downtown Enhancement	Co. Planning	Grants	Med-Term	2005-2010+	High
B7.	Geologic Study	County	Land-Owners	Med-Term	2010	High
C. State Parks						
C1.	Montana De Oro & Morro Bay State Parks	State Parks	State	On-Going	On-Going	High
C2.	Old Creek And Willow Creek	State Parks	State	Long-Term	2010+	Medium
C3.	Morro Stand State Beach Improvements	State Parks	State	Long-Term	2010+	Medium
D. County Parks, Cayucos, And Vicinity						
D1.	Recreation Facility Design	Co. Parks	County, Facilities Fees	On-Going	On-Going	High
D2.	Cayucos Parks	Co. Parks, State Parks, Other Applicable Agencies	Facilities Fees, Grants, Developer	Long-Term	2010+	Medium-High
D3.	Joint Use Of School Facilities	Co. Parks, Cayucos Elementary School District	County, Schools	Long-Term	2010+	High
Co. Ag.	Co. General Services	Co. Parks	Co. Planning	Conserv. Orgs.	Fish And Game	Pub. Works
	San Luis Coastal					
		Co. Dept. Of Agriculture/Agricultural Commissioner	County Department Of General Services	County Dept. Of General Services, Parks Division	County Department Of Planning And Building	Conservation Organizations
				California Department Of Fish And Game	County Dept. Of Public Works	San Luis Coastal Unified School District

CHAPTER 5: CIRCULATION ELEMENT



I. INTRODUCTION

Land use and transportation planning support each other and need to be closely linked. The planned circulation system--roads, pedestrian routes, bikeways, and other means of transportation--needs to take into account the planned amount and location of future development. At the same time, planning for future development must consider transportation needs and capacities. Accordingly, this plan describes existing and proposed major transportation routes and public facilities that are closely coordinated with land use.

This chapter implements the goals, objectives and policies of the Circulation Element in Coastal Framework for Planning. That element, together with this chapter, constitutes the circulation element for the Estero Planning Area. This chapter includes information and provisions from the following sources:

- The 2001 *Regional Transportation Plan*, (RTP) adopted by the San Luis Obispo Council of Governments
- The *County Bikeways Plan*, adopted by the Board of Supervisors in 1994, and subsequently amended.
- The *County Trails Plan*, adopted by the Board of Supervisors in 1991
- The proposed *Parks and Recreation Element* of the county General Plan

COUNTYWIDE CIRCULATION GOALS

- The revised *Draft Environmental Impact Report for the Estero Area Plan Update*, 2003

The provisions of the *County Bikeways Plan* and the *County Trails Plan*, as they may be amended in the future, are incorporated into this Land Use and Circulation Element as though they were fully set forth here.

This chapter deals with circulation issues, including those relating to coastal access. For more information on coastal access, please refer to Chapter 8, Coastal Access, in this Plan.

II. COUNTYWIDE CIRCULATION GOALS

The following countywide circulation goals are taken from Chapter 5 in Coastal Framework for Planning. They provide a general framework for the circulation goals, policies and programs for the Estero Planning Area. This chapter refines and elaborates on the countywide goals.

1. Provide for a land use pattern and rate of population growth that will not exceed the financial ability of the county and its residents to expand and maintain the circulation system.
2. Plan transportation system improvements to provide for, but not exceed, the demand of visitors and permanent residents in the year 2010. These improvements should be consistent with the land use patterns allowed by both the land use element and the cities' general plans, so that growth is not facilitated or induced in inappropriate amounts or locations.
3. Coordinate the transportation systems between different modes of travel, sensitive to the needs and desires of citizens in a manner that will provide optimum benefit for the investment of public funds.
4. Recognize public transit and car pooling as very important components of the county's strategy to provide adequate circulation and to reduce dependency on the automobile.
5. Encourage new development to provide public transit access and pedestrian and bicycle pathways from residential areas to shopping areas, businesses and public facilities.
6. Develop and coordinate transportation programs that reinforce federal, state, regional, and local agency goals.
7. Design a transportation system that provides for safe travel within attainable, feasible economic and technical means.
8. Design transportation facilities with the intent to preserve important natural resources and features, promote the aesthetic quality of the region, and minimize environmental changes.
9. Develop and enhance a system of scenic roads and highways through areas of scenic beauty without imposing undue restrictions on private property, or unnecessarily restricting the placement of agricultural support facilities.

10. Encourage policies for new development to finance adequate additional circulation and access as a result of increased traffic it will cause.

III. ESTERO CIRCULATION GOALS

A. Cayucos and Rural Areas

1. Plan transportation system improvements to provide for, but not exceed, the demand of visitors and permanent residents in the year 2030. These improvements should be consistent with the land use patterns allowed by both the land use element and the cities' general plans, so that growth is not facilitated or induced in inappropriate amounts or locations.
2. Establish an efficient circulation system and pattern of land uses that minimize the number of automobile trips.
3. Encourage alternatives to single-occupant automobile travel, such as pedestrian and bicycle travel, transit, carpooling, and tele-commuting.

IV. ESTERO CIRCULATION POLICIES

A. Cayucos and Rural Areas

1. **Maximize public access to and along the coast by:**
 - a. Developing all feasible vertical and lateral pedestrian access to and along the shoreline, consistent with public access goals and policies of this plan;
 - b. Developing a coastal trail from Los Osos to Cayucos, consistent with the County Trails Plan, and a bicycle path connecting Morro Bay and Cayucos.
 - c. Developing all other feasible pedestrian circulation systems in the coastal zone, consistent with other public access goals and policies of this plan;
 - d. Providing a regional bikeway system; and
 - e. Providing conspicuous signs for all public access.
2. Offer incentives to encourage walking and bicycling.
3. Plan for public transit and car pooling as very important components of the county's strategy to provide adequate circulation and to reduce dependency on the automobile.
4. Plan new development to provide public transit access and pedestrian and bicycle pathways from residential areas to shopping areas, businesses and public facilities.
5. Require new development to finance adequate additional circulation and access as a result of increased traffic it will generate.

ESTERO CIRCULATION POLICIES

6. Allow use of permeable and environmentally-friendly surfaces, where appropriate, as an alternative to conventional pavement.
7. Incorporate water quality design and treatment BMPs into roadway and other public right-of-way improvement projects.

B. Rural Areas

1. Maintain a Level of Service (LOS) D or better on Highway 1 west of Cayucos.
2. Maintain Los Osos Valley Road east of the urban reserve line as a two-lane highway with operational improvements.
3. Maintain Pecho Valley Road as a two-lane, county-maintained road in its entire length with operational improvements.
4. Pursue development of a bicycle path connecting Cayucos and Morro Bay.

C. Cayucos

1. Require that public utilities serving new development be installed underground between distribution lines and proposed buildings and between buildings. Support programs to place existing overhead public utility distribution lines underground.
2. Support pedestrian accessibility within the central business district; provide curbs, gutters, and wide sidewalks.
3. Provide needed street maintenance and improvements on county-maintained roads, including improving drainage and paving unpaved roads.
4. In order to preserve public access to the shoreline and public recreation areas, preserve all rights-of-way and offers of dedication for roads and other accessways.

V. CIRCULATION ISSUES

The following discussion is based largely on information found in the *Los Osos Circulation Study* and the *Draft Environmental Impact Report for the Estero Area Plan Update*.

A. Existing Deficiencies

Rural

The following deficiencies exist in rural portions of the planning area:

1. **State Highway 1.** There are limited opportunities for passing on the two-lane portion west of Cayucos. The portion of this highway within the planning area and outside of urban areas is required by statute to remain a two-lane, scenic road. Recently, a left-hand turn lane project at Harmony was approved to address highway safety concerns on this stretch.
2. **State Highway 41.** There are steep grades, a narrow roadway, substandard shoulders, and a lack of passing lanes between Morro Bay and Atascadero.

Cayucos

Based on an analysis of roadway capacities, all the major streets in Cayucos currently operate at acceptable levels of service.

Some deficiencies have been identified by the community, but they cannot be measured against an engineering standard. Instead, they are based on people's perceptions, which affect how people make their transportation choices. Those deficiencies also need to be addressed, and include the following.

1. **Narrow Streets.** Efficient circulation is hindered by on-street parking on some narrow streets.
2. **Parking.** There is a shortage of parking in the central business district, especially on holidays, weekends, and during the summer.

Examples of specific measures to correct or improve the preceding deficiencies are described in Section VI., Circulation Improvements.

VI. CIRCULATION IMPROVEMENTS

Planned transportation improvements are illustrated by the circulation maps at the end of this chapter. One map shows existing and proposed roads that are classified by their function as principal arterial, arterial, and collector roads. The other map shows major existing and proposed pedestrian and equestrian trails and bikeways. It also shows the locations of existing and proposed coastal access. For a complete identification of proposed roads and bikeways, please refer to the *Los Osos Circulation Study* and the *County Bikeways Plan*.

CIRCULATION IMPROVEMENTS

In order to meet the needs of the community as it grows, a set of integrated transportation improvements is identified. These improvements are designed to serve the amount of vehicular traffic that is projected to occur in the future at buildout under this plan.

In order to provide a balanced mix of all modes of transportation, this plan provides for improving not only streets and intersections, but also public transit, pedestrian routes, bikeways, and equestrian trails. For example, the plan emphasizes completing the existing road network, improving existing streets and intersections, substantially expanding bikeways and pedestrian trails, providing equestrian trails, and improving both transit service and access to transit.

A. Roads

This subsection describes some of the major planned road improvements, organized by community and by the type or function of the roadway. The planned improvements will help complete the transportation network and accommodate the expected amount of growth under this plan. For requirements and details on improvements in Los Osos, refer to the *Los Osos Circulation Study*, which contains a complete, prioritized listing of planned roadway and bikeway improvements, planned intersection improvements, and conceptual illustrations of roadway cross sections for improvements to be funded with road impact fees.

Projects funded by road impact fees are prioritized first by the date that a capacity deficiency is expected to occur, second by safety near schools and third by other safety issues. For projects funded by the county roads budget, safety is the first consideration, followed by maintenance.

The priority order of recommended transportation improvements in the *Los Osos Circulation Study* should be followed to the maximum extent possible given availability of funding. However, when deviations from the priority list are proposed, the county should consult with and obtain recommendations from the applicable local advisory committee(s).

1. Principal Arterials

Principal arterial roads are freeways, expressways or principal county roads that connect major population centers and other points of traffic generation. They have controlled access and are not intended for local trips.

a. Rural

Los Osos Valley Road.

In the rural portion of the planning area, this road should be maintained as a two-lane road with a passing lane. Although traffic volumes will increase in the future, the community desires to maintain the existing rural character of this route, while pursuing improved transit service and other strategies to reduce peak hour traffic.

State Highway 1 South and East of Cayucos. No improvements are required.

b. Cayucos

Highway 1. No improvements are required for Highway 1 through Cayucos.

2. Arterials -

Arterial roads carry traffic between principal arterial roads and between population centers, or they may just carry large volumes of traffic within an urban or rural area. They are not intended to provide primary access to residences and are best used for controlled access to areas of retail and service commercial uses, industrial facilities and major community facilities.

a. Rural

State Highway 41. The *2001 Regional Transportation Plan* recommends installation of passing lanes and channelization between Morro Bay and Atascadero.

South Bay Boulevard. This road provides a direct link between Morro Bay and Los Osos. It should be maintained in accordance with the high scenic values of Morro Bay, the marshlands, and the hills and peaks of the Morros. Proposed improvements include:

- Consider road improvements that improve the level of service but avoid wetlands and other sensitive resources and do not otherwise induce growth inconsistent with the Area Plan.

b. Cayucos

Ocean Avenue. This road should continue to be improved with sidewalks in the CBD, as development occurs, and should be improved with bike lanes along its full length.

3. Collectors

Collector roads enable traffic to move to and from local roads, arterial roads and activity centers. They are the principal roads of residential areas and carry relatively high volumes of traffic. Residential driveway access should be limited according to traffic volumes, parcel sizes and sight distances.

a. Rural

Old Creek Road serves a rural and agricultural area, and should therefore be maintained as a rural collector without significant improvements.

b. Cayucos

No improvements are recommended for the collectors within Cayucos.

4. Local Roads

Local roads are used primarily for access to adjacent properties. *The Los Osos Circulation Study* recommends improvement of various local roads to complete the established grid street system, especially in the El Moro area.

B. Bicycle, Pedestrian and Equestrian Facilities

This plan places great importance on development of alternative means of travel. Some of the major proposed improvements are shown on the circulation maps at the end of this chapter. Those maps also depict existing and proposed coastal access. For more details, refer to the *County Bikeways Plan* and the *County Trails Plan*. The current recommendations of those plans are generally reflected in the following discussion, but those recommendations may change as those plans are periodically updated.

1. Bikeways

There are three major types of bikeways: Class I, Class II and Class III bikeways. Class I "bicycle paths" are completely separated from roadways, and are sometimes in an exclusive corridor. In Los Osos, these paths will also be designed for pedestrians. Class II "bicycle lanes" are found alongside vehicle lanes in the roadway. Class III "bicycle routes" are low volume streets that are suitable for cyclists and are designated by signs only.

a. Rural

Several Class I bikeways are proposed, including one along Highway 1 from Cayucos to the eastern planning area boundary at Camp San Luis Obispo. A Class I bikeway should be installed along Highway 1 west of Cayucos, and if feasible, between Los Osos and Cayucos.

b. Cayucos

A Class I bikeway and bicycle/pedestrian bridge is proposed to connect Studio Drive to Pacific Avenue. Class II bicycle lanes are proposed along Highway 1 and several roads. Class III bicycle routes are proposed on several other streets.

2. Pedestrian Facilities

This plan emphasizes the importance of providing coastal access, and making communities pedestrian-friendly, especially within the central business district of Cayucos. This can be accomplished through land use planning and design (see Chapter 7), and by providing for interconnected systems of sidewalks, trails and other pedestrian routes. Pedestrian trails are also addressed in the following section, Equestrian/Hiking Trails.

In Cayucos, sidewalks will be provided with new residential land divisions, and with new commercial/office development. In certain Residential Multi-Family categories, this plan waives sidewalk, curb and gutter requirements for new development where those requirements would not be appropriate. For example, sidewalks would not be appropriate where Residential Multi-Family categories are nearly fully developed with single-family residences, or where it is otherwise unlikely that a continuous sidewalk would ultimately be completed.

Several recreational trails are proposed in Cayucos, including trails that would improve access to the coast. Other proposed improvements along the shoreline would enhance coastal access.

3. Multi-Use Trails

The circulation maps at the end of this chapter show the locations of some key proposed multi-use trails, which include equestrian/hiking trails. Additional proposed trails may be shown and described in the *County Trails Plan*, which also includes a rating system to determine priorities for developing trails.

In the rural area, multi-use trail corridors are proposed in the following locations: along the publicly-owned Estero Bluffs property west of Cayucos, and extending to the Planning Area boundary and beyond so as to form part of a proposed regional and statewide coastal trail; around Whale Rock Reservoir; along Little Morro Creek through the Planning Area to Cerro Alto, connecting the Cities of Morro Bay and Atascadero; along the coast connecting Los Osos and Cayucos--another section of the proposed statewide coastal trail; along Los Osos Valley Road through the Planning Area, connecting Los Osos with the City of San Luis Obispo; and between Wild Cherry Canyon near Avila Beach and Montaña de Oro State Park. The trails should be located within these corridors, but specific routes have not been determined.

Trails should be designed and constructed to protect environmentally sensitive habitat; in particular, creek beds should be protected from equestrian use during low-flow periods. Trail planning should include management plans, with provisions for interpretive facilities where appropriate, to assure that trails will be managed, monitored and maintained to protect environmentally sensitive habitat.

C. Public Transit

Public transit is an essential part of the transportation system. An effective public transit system reduces automobile dependency by offering viable alternatives to automobile travel, including the use of several means of transportation for a given trip.

In Cayucos, the highest priority transit measure is to develop a park-and-ride lot. Another measure is to improve bus service between Cayucos and neighboring communities, including San Luis Obispo.

The following are among the recommended transit improvements in Cayucos and the region:

1. **Increase the Frequency and Hours of Service, Areas Served, and Destinations Served.** Examples include providing: daily express buses throughout the day to Morro Bay, Cuesta College, Cal Poly, and San Luis Obispo; and service to currently unserved neighborhoods. Bus routes should be carefully determined so that future road work can take potential traffic calming measures into account during design.
2. **Improve the Performance of Transit Service. Examples include:**
 - a. Identify key focus points with regional transit access for large buses with passenger amenities (schedule and route information, shelters, benches) and minimize the costly deployment of regional transit buses along local, narrow streets without sidewalks

OTHER TRANSPORTATION FACILITIES

- b. Provide a permanent park-and-ride, lot mostly for ridesharing
 - c. Provide a future transfer node between the South Bay and Morro Bay Dial-A-Ride vans to minimize the need for multiple transfers to and from regional buses
 - d. Integrate local transit with school buses
3. **Assure Safe and Convenient Access to Bus Stops.** Examples include providing bus shelters, wheelchair ramps, lighting, secure bike racks at the park-and-ride lot, and landscaped walkways to bus stops.

Other recommendations, many of which apply throughout the region, include improving public transportation awareness and education, improving passenger comfort and convenience, and improving reliability.

VII. OTHER TRANSPORTATION FACILITIES

A. Harbor

The Morro Bay harbor supports commercial fishing, and recreational boating. It is the only developed harbor of refuge between Santa Barbara and Monterey. Short and long-term solutions need to be found to the problems of siltation and hazardous surf, while considering possible effects on tidal flow in the Morro Bay estuary. The Estero marine terminal is discussed in Chapter 4.

B. Energy Transmission Lines

The Estero Planning Area has a larger share of energy transmission lines than any other planning area because of the oil pipeline terminal at Estero Bay and the electric power transmission lines radiating out from Duke Energy's Morro Bay power plant and Pacific Gas and Electric Company's Diablo Canyon generating plants. Pipelines need to be monitored to ensure against air and water pollution. Consideration should be given to possible hazards from electromagnetic fields from electrical transmission lines when proposed residences, public facilities and schools are sited.

VIII. OTHER STRATEGIES TO REDUCE AUTO DEPENDENCY

Transportation Demand Management (TDM)

Traffic congestion and its environmental effects are increasing. At the same time, we are beginning to recognize that it is increasingly infeasible, both economically and environmentally, to simply continue building more roads and adding more lanes to solve the problem. As a result, more attention is being given to various measures to reduce the demand for automobile travel. Such measures are called transportation demand management, or TDM. TDM is important, because if TDM measures are not implemented, the other circulation improvements recommended in this plan will not be as effective.

Many TDM measures need be implemented not only where people live, but also where they work. Thus, to be most effective, TDM must be implemented at a regional level. Nevertheless, many actions can be taken at the local level, and are included in this plan.

The following are examples of types of TDM measures. Some may be most effective if implemented throughout the region.

1. **Marketing and Commuter Information Programs** provide information about carpools, vanpools, and other alternatives to single-occupant automobile travel.
2. **Transit and Ridesharing Incentives** make carpooling, riding the bus, walking, and bicycling more attractive. Incentives may include preferential carpool or vanpool parking, various employer subsidies for vanpooling and transit use, and other financial incentives.
3. **Transit Service Improvements** can make transit use more attractive. Examples are increasing the number of daily bus trips and the frequency of service, adjusting routes to better serve riders, improving reliability of bus schedules, making it safer and more convenient to get to bus stops, and reducing fares.
4. **Parking Management Programs** apply primarily at major employment centers such as San Luis Obispo and Cal Poly University. They discourage single-occupant automobile travel by limiting the supply of free parking.
5. **Alternative Work Schedules** can reduce peak-hour traffic. They include four-day work weeks, flexible schedules that accommodate carpools, staggered work hours, and telecommuting.
6. **Land Use** and circulation policies, standards and programs are included in this plan to help reduce auto dependency and offer more transportation choices. Examples include emphasizing infill development within compact communities, offering incentives for mixed use development, providing for minimum multi-family densities, and encouraging pedestrian-oriented development through development and design standards.

Consideration should be given to the following land use planning measures, which can also help reduce auto dependency:

- a. Reduce parking requirements and establish maximum amounts of parking as alternatives to auto travel become more available.
- b. Increase opportunities for neighborhood shopping by creating additional neighborhood-serving Commercial Retail categories in convenient locations.

IX. CIRCULATION PROGRAMS

"Programs" are recommended non-mandatory actions to achieve community or areawide objectives identified in this area plan. Implementation of each LUE program is the responsibility of the county or other public agency identified in the program itself and in the table at the end of this chapter. Because programs (some of which include special studies) are recommended actions rather than mandatory requirements, implementation of

CIRCULATION PROGRAMS

any program should be based on consideration of community needs, community support and available funds.

The following circulation programs for the Estero Planning Area are grouped by location and by subject.

A. Areawide

1. **Transportation Demand Management (TDM).** The San Luis Obispo County Council of Governments, working together with the County Public Works and Planning and Building Departments, should develop and implement a transportation demand program that includes measures such as: marketing and commuter information programs, transit and ridesharing incentives, transit service improvements, parking management programs, and alternative work schedules.
2. **Highway 1 Beautification and Modernization.** The County Department of Planning and Building should continue to coordinate with the San Luis Obispo County Council of Governments and Caltrans in order to seek funding for and implement highway beautification and modernization projects that are consistent with the State Scenic Highway and All American Byway designations.

B. Rural Area

1. **Bicycle/Pedestrian Paths.** The county and the San Luis Obispo Council of Governments should seek funding for and construct a Class I bicycle/pedestrian path along Highway 1 west of Cayucos, and where feasible, between Los Osos and Cayucos.

C. Cayucos

Street Improvements, Parking

1. **Ocean Front.** Parking should be prohibited on the inland side of Ocean Front with proper signs.
2. **South Ocean Avenue.** The county should explore ways to improve pedestrian and bicycle safety on South Ocean Avenue between 7th and 13th Streets without installation of conventional sidewalks.
3. **Parking.** The county should support provision of more parking for downtown, beach and recreation areas by doing the following:
 - a. Encouraging commercial property owners to form and operate a parking district in order to acquire and/or construct a public parking lot; consider funding through in-lieu fees on business expansion.
 - b. Encouraging a privately-owned public parking lot (with a charge for parking) adjacent to downtown, providing the lot meets the criteria in the following standard 3c.

- c. Requiring that any publicly or privately-owned parking lot: a) take access from side streets or alleys where feasible, b) not create a dust problem, c) be divided into sections, rather than covering a single large expanse, d) provide safe pedestrian connections to walkways and shops, and e) include landscape screening from streets and residences (see Figure 5-1).
- d. Establishing a parking time limit to prevent employees and vendors from using parking spaces needed by customers of downtown businesses.
- e. Encouraging property owners to dedicate to the county and improve rights-of way along North Ocean Avenue leading to B Street and on B Street to Ash Street. The streets should be paved and improved with curbs, gutters and sidewalks for access to the beach in a manner that avoids impacts to Cayucos Creek. As much angle parking as possible should be provided on both sides of B Street.
- f. Creating angled parking areas along the blocks of D Street and E Street that are immediately northeast of Ocean Ave.
- g. Encouraging businesses with on-site parking to make those spaces available for public parking when the businesses are closed.

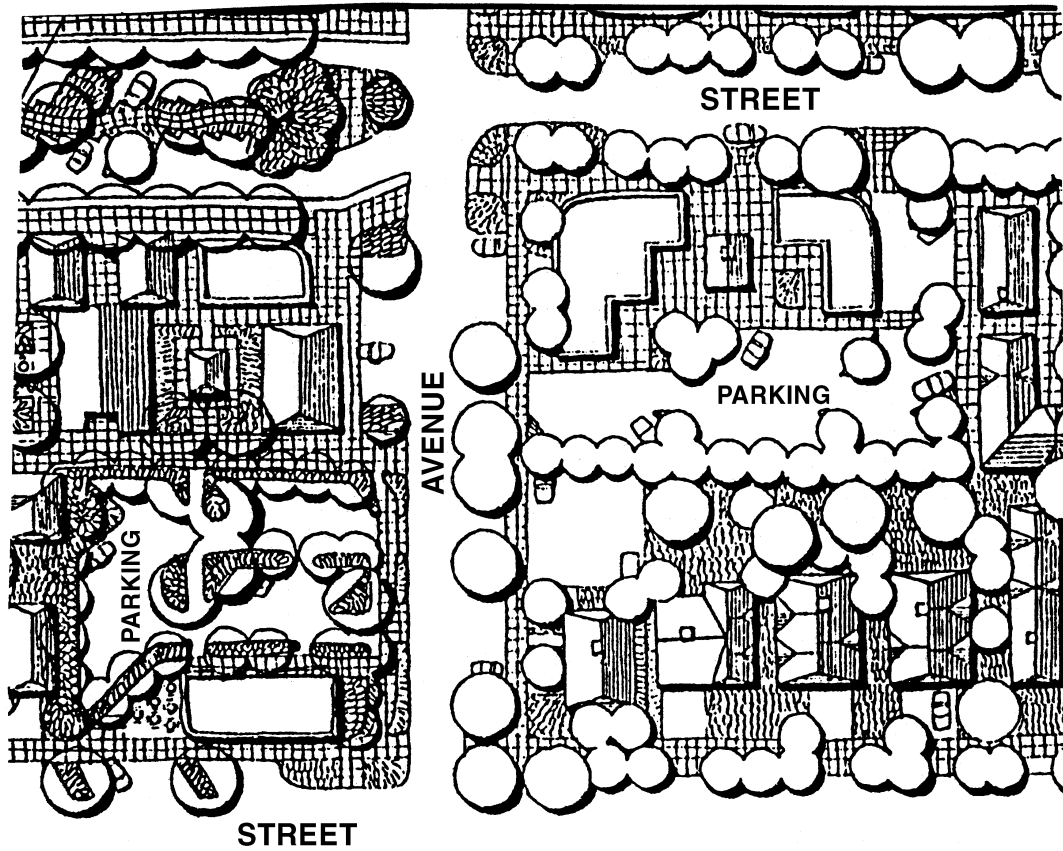


Figure 5-1: Parking Lot Design

Transit and Bicycles

4. **Park and Ride.** The county, the San Luis Obispo County Council of Governments and Caltrans should cooperate to facilitate provision of a park-and-ride lot.
5. **Bus Service.** The county and the San Luis Obispo Regional Transit Authority should work with the community to identify and facilitate improvements of bus service to neighboring communities, including San Luis Obispo.
6. **Bikeways** The county should install a pedestrian and bikeway system, including bikeway improvements recommended in the *County Bikeways Plan*, to connect recreation areas with residential and commercial areas.

Coastal Access

7. **Hardie Community Park Trail.** The county should acquire an easement and develop a pedestrian/bicycle trail linking Hardie Park with the beach. This will link two important community recreation areas and help relieve parking problems.
8. **Beach Access.** The county should continue to develop and maintain public walkways to the beach along Studio Drive and Pacific Avenue.
9. **Acceptance of Dedications.** The county should continue to accept new offers of dedication to the public for beach access from Pacific Avenue and Studio Drive.
10. **Shoreline Access Parking.** The county should acquire and improve off-street parking on the east side of Studio Drive near Nagel, Crawford, Cody or Haines Streets.
11. **Improvement of Publicly-Owned Sites.** The County should develop existing publicly-owned sites with improvements such as the following: (see Figure 5-2; addresses are those of adjacent properties and are for general location only)
 - 3430 Studio Drive: Development could include walkways, bicycle racks, bollards, signs, staircases, overlooks, and landscaping
 - 2616, 2827 and 3336 Studio Drive: Future development could include walkways, bicycle racks, bollards, signs, staircases, overlooks, and landscaping. Environmental impacts must be adequately mitigated.
 - 290 Pacific Street. Development could include a walkway, bicycle racks, bollards, signs, a staircase, overlook, and planting.

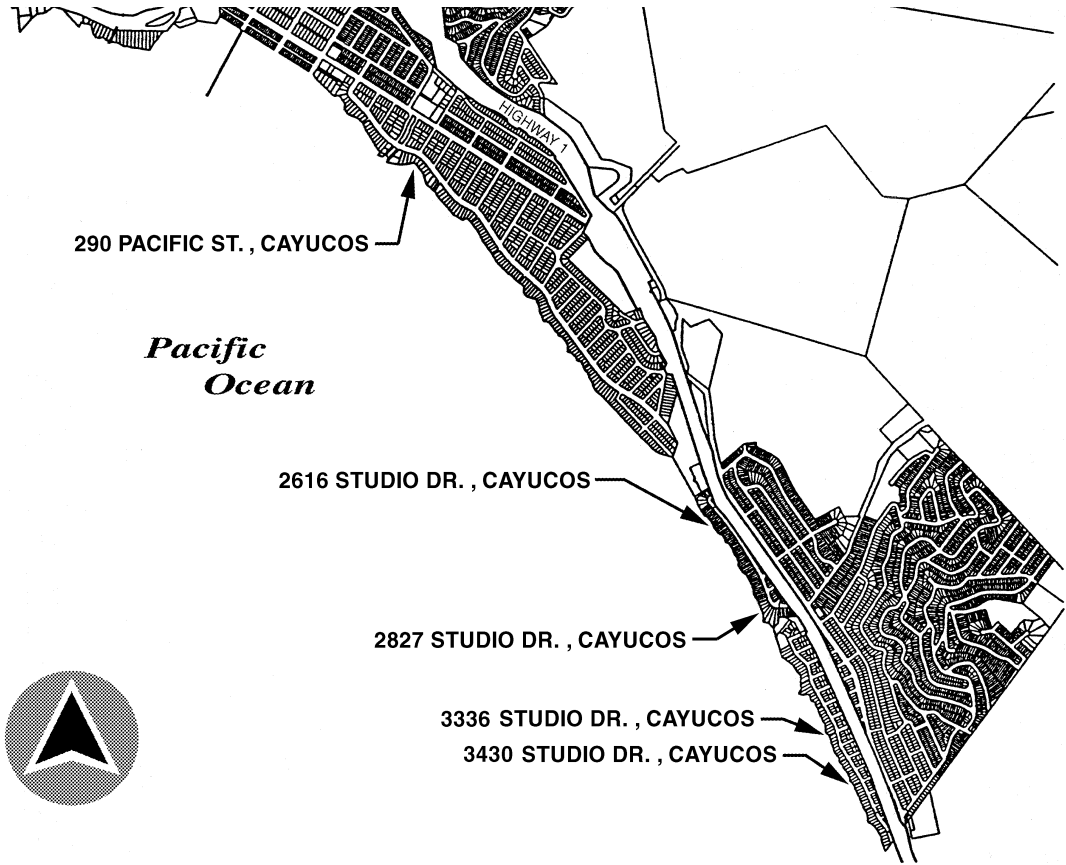


Figure 5-2: Improvement of Coastal Access -- Cayucos

The following table summarizes the preceding recommended programs to be implemented by the county or other public agencies. In the table, the first column, "Program No.," identifies the program by its number in the preceding text. The second column, "Program," identifies the subject of the program. The column under "Responsible Agencies" lists which public and/or private agencies have primary responsibility for carrying out each program. The column, "Potential Program Funding," lists potential sources of funding for each program. The column, "Time Frame," identifies whether each program is expected to be carried out over a short, medium, or long-term period, or whether the program requires an on-going effort. The column, "Target Date," lists the estimated date by which each program should be implemented. The last column, "Priority," ranks each program according to whether it has a high, medium or low priority for implementation. This will help decision makers and the public decide how to allocate limited funds.

Table 5-1: Schedule for Completing Recommended Circulation Programs

Program No.	Program	Responsible Agencies	Potential Program Funding	Timeframe	Target Date	Priority
A. Areawide						

CIRCULATION PROGRAMS

A1.	Transportation Demand Management	SLOCOG, Co. Plng., Pub. Works	County, Grants	On-Going	On-Going	Medium
A2.	Highway 1 Beautification and Modernization	Caltrans, SLOCOG, Co. Plng.	State	On-Going	On-Going	Medium
B. Rural Area						
B1.	Bicycle/Pedestrian Paths	SLOCOG, Caltrans, Co. Parks	Grants	Med.-Term	2010	Medium
C. Cayucos						
C1.	Ocean Front Parking	Pub. Works	County	Short-Term	2005	Medium
C2.	South Ocean Ave. Safety	Pub. Works	Grants	Med-Term	2010	Medium
C3.	Increased Downtown Parking	Co. Plng., Pub. Works	Assmt. Dst., Developer	Short-to-Med.-Term	2005-2010	High
C4.	Park & Ride Lot	Caltrans, SLOCOG, Pub. Works	Fees, Grants	Med.-Term	2010	High
C5.	Bus Service Improvements	SLORTA, Pub. Works	Fees, Grants	Med.-Term	2010	Medium
C6.	Bikeways	Pub. Works, Co. Parks	Grants	On-Going	On-Going	Medium
C7.	Hardie Park Trail	Co. Parks	Grants	Med.-Term	2010	Medium
C8.	Beach Access	Co. Parks	County	On-Going	On-Going	High
C9.	Accepting Beach Access Dedications	Board of Supervisors	Not Applicable	On-Going	On-Going	High
C10.	Shoreline Parking	Co. Parks	County	Long-Term	2010+	Medium
C11.	Improvements of Publicly-owned Sites	Co. Parks	County	Med-Term	2010	Medium
Co. Planning	County Department of Planning and Building					
Pub. Works	County Department of Public Works					
Co. Parks	County Department of General Services, Parks Division					
SLOCOG	San Luis Obispo County Council of Governments					
SLORTA	San Luis Obispo Regional Transit Authority					

CHAPTER 6: ENVIRONMENTAL AND CULTURAL RESOURCE POLICIES AND PROGRAMS



I. INTRODUCTION

This chapter identifies special features of the environment, discusses relevant issues, sets policies, and recommends programs to implement the relevant goals and policies of this plan. The first section generally describes biological and geological resources in the Planning Area. The following sections discuss issues and policies:

- **Combining Designations:** describes sensitive and scenic areas and other special features of the environment that are identified by combining designations.
- **Morro Bay Estuary and its Watershed:** establishes policies; discusses protection and management of the Morro Bay Estuary by addressing the estuary itself and its entire watershed.

The last section in this chapter is Programs. It recommends actions to be taken by the county or other public agencies to help implement the goals and policies of this plan (the goals and policies are also implemented by development standards in Chapter 7).

II. BIOLOGICAL AND GEOLOGICAL RESOURCES

A. Biological Resources

Several major plant communities are present in the Estero Planning Area. Most prevalent is the non-native grassland community, which occurs in almost 60 percent of the area. Coastal sage scrub communities, located primarily at low elevations along steep slopes with shallow soil, account for about 9 to 10 percent of the area. The occurrence of these and other plant communities in the Estero Planning Area is shown in Figure 6-1.

The Estero Planning Area is home to a wide variety of fish, amphibians, reptiles, birds, insects and mammals, including rainbow and steelhead trout; frogs and salamanders; lizards, snakes and turtles; hawks, owls, egrets and blackbirds; and opossums, rabbits, squirrels, coyotes, raccoons, foxes, bobcats, mountain lions, deer, rodents, bats, sea otters and seals, to name a few. A detailed list may be found in the EIR for the Estero Update.

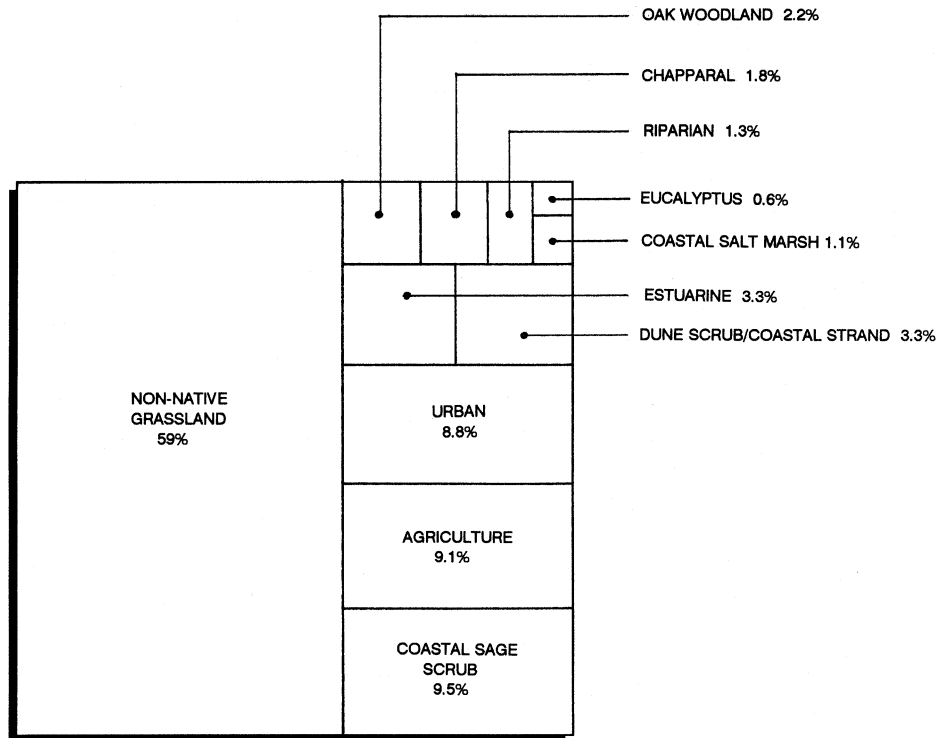
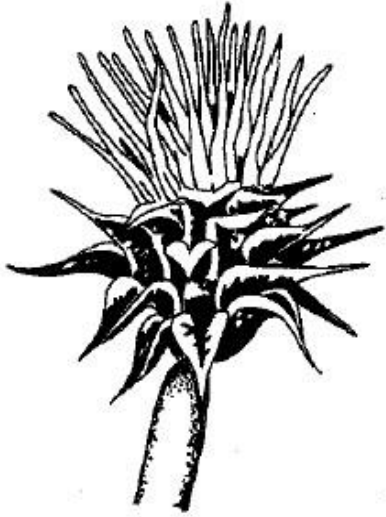


Figure 6-1: Occurrence of Plant Communities. Agriculture and Urban Development

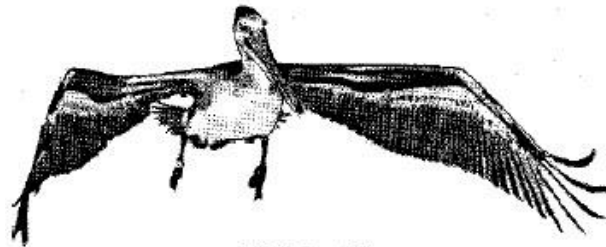


Chorro Creek Bog Thistle

Several sensitive habitats, and plant and animal species are known to occur in the Estero Planning Area. The term "sensitive species" includes plants and animals officially listed by a regulatory organization or agency such as the California Department of Fish and Game, and those considered to be of local concern by recognized monitoring agencies.

Highly sensitive habitats include the riparian woodland and riparian scrub, freshwater marsh and coastal salt marsh, dune scrub and coastal sage scrub, chaparral and oak woodland. The Chorro Creek bog thistle, salt marsh bird's beak and Indian Knob mountainbalm are plant species listed as "endangered" by both state and federal agencies. Endangered animals include the American peregrine falcon, California brown pelican, California clapper rail, Morro Bay kangaroo rat, tidewater goby and Morro shoulderband snail.

Protecting and managing large, contiguous areas of open space, including wildlife migration corridors, is an essential element in any program to protect endangered species. Migration corridors such as drainage courses and adjacent upland habitats provide critical linkages between islands of open space.



California Brown Pelican

B. Geological Resources.

Most of San Luis Obispo County, including the Estero Planning Area, is underlain by a 180 million year old mixture of consolidated igneous, metamorphic and sedimentary rocks. Somewhat younger sedimentary formations overlie these bedrock formations in some parts of the region. Along the coastal plain and within stream valleys the older bedrock formations are overlain by more recent alluvium and terrace deposits. The Estero Planning Area is located in a seismically active region that includes several active earthquake faults, as shown in Figure 6-2. The Hosgri fault zone, part of the San Simeon - Hosgri Fault zone, is located offshore of the planning area. This zone has the potential for earthquakes up to a magnitude 7.5 on the Richter Scale. The Los Osos Fault runs along the Los Osos Valley at the base of the Irish Hills. It has the potential for seismic events of a magnitude as high as 6.75 on the Richter Scale. The San Andreas Fault zone, about 40 miles east of the planning area, has the potential for magnitude 8.5 events. The Nacimiento and Rinconada Fault zones are also located near the planning area, but are considered to have less significant hazard potential. In addition to earthquakes, geologic hazards associated with fault zones include ground rupture, liquefaction of alluvial soils - generally in low-lying areas - and landslides on steeper, unstable slopes.

COMBINING AND OTHER DESIGNATIONS

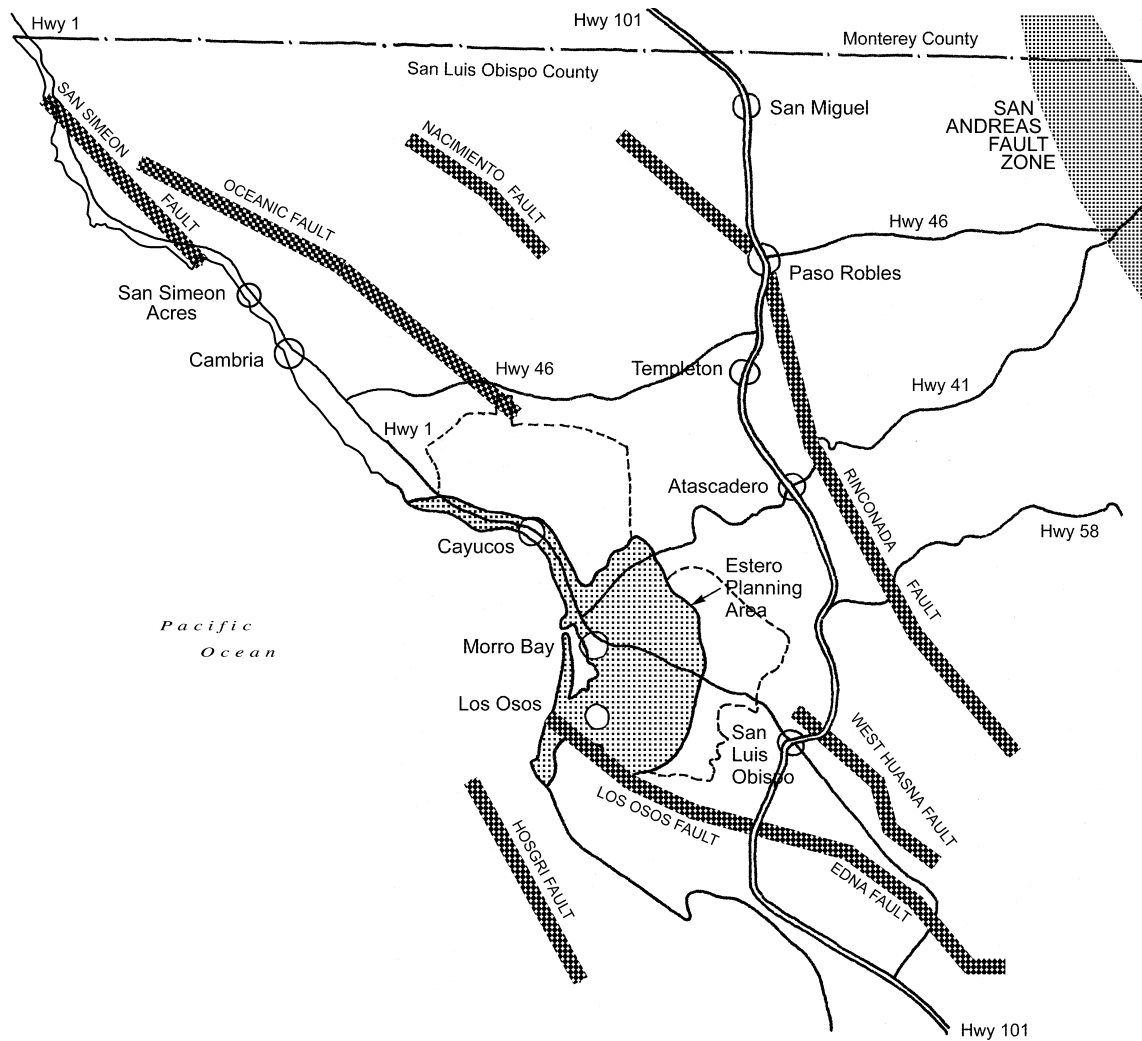


Figure 6-2: Earthquake Faults

III. COMBINING AND OTHER DESIGNATIONS

Sensitive, scenic and other special features of the environment are identified by combining designations-- special overlay categories applied in areas of the county with hazardous conditions or special resources. In these areas, more detailed project review is needed to avoid adverse environmental impacts or effects of hazardous conditions on proposed projects. The following areas are subject to special combining designations. In some cases, specific standards have been adopted for an area where a combining designation is applied. These standards are found in Chapter 7 (Planning Area Standards) and are applicable to development proposals in addition to the standards of Chapter 232.07 of the Coastal Zone Land Use Ordinance. The following combining designations are shown on the combining designation maps at the end of Chapter 7 and on the official maps, Part III of the Land Use Element, on file in the County Department of Planning and Building.

A. Local Coastal Program (LCP)

Coastal Zone (LCP). The coastal zone encompasses the three urban areas and a large portion of the surrounding rural areas. The LCP combining designation identifies specific programs to ensure that access to the shoreline is provided in accordance with the policy of the Local Coastal Plan.

B. Geologic Study Area (GSA)

1. **Hillside Areas (GSA).** Many of the hillsides in the planning area are subject to high landslide risk, as identified in the Safety Element of the general plan. Of particular note are the hillsides above Morro Bay and Cayucos.
2. **Bluff Erosion (GSA).** Bluff erosion poses a concern for siting new development along portions of the coastline. Development should generally be located to withstand 100 years of bluff erosion without the need for a shoreline protection structure that would substantially alter the landform, affect public access, or impact sand movement.
3. **Cayucos Liquefaction (GSA).** Portions of the Cayucos urban area along creeks, some bluffs and the shoreline are subject to a high potential for liquefaction, as identified in the Safety Element of the general plan.

NOTE: Based on information contained in a Fault Evaluation Report prepared by the California Department of Mines and Geology (FER-200, 1989), the Los Osos fault zone traverses the southern portion of the Los Osos Valley, 1,000-foot wide zone on either side of the fault trace has a higher potential for ground rupture during an earthquake.

C. Flood Hazard (FH)

Los Osos, Chorro, Morro, Toro, Willow, Old, Cayucos, Little Cayucos, and Villa Creeks and Tributaries (FH). These flood-prone natural drainage courses should be maintained in their natural state to protect native vegetation and wildlife habitats. Flood hazard areas in Cayucos should be used for recreation where feasible. A trail should be developed along Cayucos Creek connecting Hardie Park and the beach; Old Creek west of Highway 1 should be a part of Morro Strand State Beach.

D. Historic Site (H)

1. **Canet Adobe (H).** This adobe was built in 1840 and is situated on Rancho San Bernardo. One existing wing is typical of early California architecture. Also located here is an early cemetery of historical interest.
2. **Spooner Residence (H).** This visitor center for Montaña de Oro State Park was built as the residence for the family of Alden B. Spooner, who farmed the surrounding area then known as the El Pecho Ranch. Parts of the house now standing were built in 1905. The house is the last remnant of the Spooner period of the ranch's history.
3. **Los Osos Schoolhouse (H).** This schoolhouse was built in 1872 and used until 1954. It is of similar design to other schools of the period. It was moved to the site of the

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South Bay Community Park and now serves as a meeting hall for private social gatherings or small civic groups.

4. **Captain James Cass House Complex (H).** The two-story wood structure was the house of the founder of Cayucos in 1876 and is an example of architecture in the transitional period between the Pioneer and American Colonial Revival styles. The Cass house complex includes the adjacent barn, tank house and cooler building.
5. **Cayucos Pier (H).** The pier was built in 1874 by James Cass, an English sea captain who established a shipping business there and founded the town of Cayucos.

E. Sensitive Resource Area (SRA)

The following sensitive resource areas identify a variety of important natural resources. SRAs include many ecologically important areas, such as wetlands, marshes, sand dunes, natural plant communities, habitat for rare and endangered plants and animals, and sensitive watershed. Most of these areas are also designated as Environmentally Sensitive Habitats. Areas with ecologically sensitive features that are listed in Chapter 7, Section III of this plan are considered SRAs, even if they are not so designated on the official maps of the Land Use Element. Also included in the SRAs are areas enabling scenic vistas to and along the coast that help assure public visual access to the coast. The SRA standards in Chapter 7 of this plan are consistent with and help implement the policies of the Agriculture and Open Space Element.

Every year, residents and visitors make millions of vehicle trips on roads and highways that pass in view of highly scenic areas such as Morro Bay estuary, the Morros, the coastline, and coastal hills. Many of those trips are made by tourists who make a significant contribution to the local economy. The scenic views of these areas and their ecological function should be maintained in order to maintain this area as a desirable place to live and visit.

Coastline

1. **Ocean Shoreline SRA and Critical Viewsheds.** These sensitive, largely undeveloped ocean shoreline areas include the coastal terraces and shoreline between Point Estero and Cayucos, between Cayucos and the city of Morro Bay, and along Montaña de Oro State Park. Also included the Morro Bay Sand Spit (discussed separately in this section). In general, concerns include maintaining open views of the shoreline and ocean from Highway 1, providing additional public recreation and maintaining maximum public access to the immediate shoreline.

The SRA and Critical Viewshed west of Cayucos consists of the entire coastal terrace on the ocean side of Highway 1, extending from the Cayucos urban reserve line west to the Planning Area boundary. The purpose of the SRA standards for this area is to protect views of the shoreline, bay and ocean, and to protect marine mammals and sensitive plants.

Morro Bay Estuary and Shoreline

The purpose of the SRA standards for the following SRAs is to protect wetlands and other sensitive habitat, and to provide required public access. The estuary and

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shoreline support rare, endangered and threatened plant and animal species. A list of these species is kept on file in the Department of Planning and Building.

2. **Morro Bay Estuary (SRA).** The Morro Bay Estuary is the most important wetland on California's south central coast. It is a shallow lagoon which drains Chorro and Los Osos Creeks, and supports several biotic communities including coastal salt marsh, tidal mudflats, and coastal scrub. The bay supports a wide variety of habitats and many sensitive and endangered plants and animals, including many protected species of migratory birds. It is an essential link in the Pacific Flyway, providing one of the state's largest waterfowl habitats south of the San Francisco Bay. For example, the migratory Brant goose forages on highly significant eelgrass beds. The bay is also one of the country's top areas for birds, according to annual bird counts.
3. **Morro Bay Sand Spit (SRA).** This ridge of sand dunes (a continuation of the Hazard Canyon Dunes) separates most of Morro Bay from Estero Bay and plays an important role in Morro Bay's physical and biological environment. It supports an abundance of plant species.
4. **Morro Bay Shoreline (SRA).** The Morro Bay tidelands and adjoining shoreline areas are important to the ecology of the bay, and are also highly scenic. Marshlands are particularly important as a source of food and refuge for marine life and also provide feeding and nesting areas for a variety of waterfowl and shorebirds. Critical areas include the following:
 - a. **Sweet Springs and Cuesta-by-the-Sea Marsh (SRA).** Cuesta-by-the-Sea Marsh is a saltwater marsh adjacent Cuesta-by-the-Sea. Sweet Springs marsh is an unusual combination of a tidal salt marsh and a freshwater spring. Both are adjacent to (and flow into) Morro Bay. These areas are used as a feeding and resting area by many species of shorebirds and waterfowl.
 - b. **Los Osos Estuary (SRA).** This is a small estuary off Morro Bay at the mouth of Los Osos Creek near South Bay Blvd. Biotic communities represented here are a freshwater marsh, a salt water marsh, coastal scrub, and an estuarine community. The area provides habitat for many species of mammals, birds and fish, including endangered species.
 - c. **Baywood Peninsula (SRA).** This area is a narrow fringe of dune sands with planted Monterey cypress and pine trees rising above the bay and providing an exceptional close-hand view of the bay.
 - d. **Fairbank Point Property (SRA).** Since 1948, an important nesting and resting site for herons has been located on this site near the marina, adjacent to Morro Bay State Park.

Los Osos and Vicinity

5. **Morro Bay Kangaroo Rat Habitat (SRA).** The Morro Bay kangaroo rat is an endangered species and has a very localized range of 1.7 square miles on the south shore of Morro Bay. The remaining population is estimated at 3,000 animals, and

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habitat is generally restricted to the coastal scrub community. This restricted range makes the Kangaroo Rat highly susceptible to the impact of man.

6. **Los Osos Oaks State Reserve (SRA).** The Los Osos forest is an 86-acre state park reserve containing outstanding examples of California pygmy oaks--stunted coast live oaks, growing in a stabilized dune area. Other oaks are also present, making this area an outstanding example of an oak woodland. The forest also includes a strip of open space preserved by the developer of Tract 527, but it is not open to public access.
7. **Los Osos Creek (SRA).** The lower eight miles of the creek is an anadromous fish stream (primarily steelhead), and adjacent riparian areas are rich in wildlife. Environmental concerns include contamination and excessive siltation of both the creek and the bay by development or other adverse uses occurring too close to the creek and its tributaries.
8. **Eto and Warden Lakes (SRA).** These are two of the few remaining isolated freshwater marshes in the county. Both lie within the Los Osos Creek drainage. The freshwater marshes, along with the associated riparian habitat, are important sites for migratory birds.
9. **Hazard Canyon and Vicinity (SRA).** The threatened Morro manzanita occurs only in the area between Baywood Park and Hazard Canyon. In addition, two of the six known stands of the endangered Indian Knob mountainbalm occur in Hazard Canyon. Many other endemic plant species are found in the dunes near the mouth of the canyon. This area is an excellent example of the successive stages of dune stabilization. Much of this area is within Montaña de Oro State Park.
10. **Montaña de Oro Grassland (SRA).** The marine terrace between Islay and Coon Creeks is a mosaic of the Stipa grassland community and the northern coastal scrub and coastal sage scrub. The terrace also supports numerous wildflowers.
11. **Coon Creek (SRA).** Several natural plant communities occur in this area. The most interesting is the Bishop pine forest located on steep slopes just outside Montaña de Oro State Park. This is a large conifer forest where specimens of the Bishop pine may have been first collected scientifically and used to describe the species. Coast live oak is intermixed with the conifer forest. The county's only native population of *Ceanothus griseus* is found in this area (Source: California Native Plant Society).
12. **Cayucos Monarch Butterfly Habitat (SRA).** This overwintering site in Cayucos has been frequented by very large numbers of butterflies for a number of years. It is second only to the Pismo Beach area site in population and one of the significant sites in the entire state. The butterflies cluster in a small area on a mixture of eucalyptus and cypress trees growing along a creek bed close to a residential area. This site needs to be enhanced with tree plantings and managed for the long-term continuance of the habitat. The SRA includes an adjacent buffer area where new development needs to be designed to minimize effects on the butterflies and their habitat, and where strategic tree plantings can enhance the habitat.
13. **Coastal Terrace SRA and Critical Viewshed West of Cayucos.** The Coastal Terrace SRA and Critical Viewshed west of Cayucos is located on the coastal terrace south of Highway One that extends from the Cayucos urban reserve line westward to the

planning area boundary. The purpose of this SRA and Critical Viewshed is to protect views of this scenic coastal area as seen from Highway 1, public beaches and the ocean, and to protect sensitive plants.

14. **Whale Rock Reservoir Watershed (SRA).** This area encompasses the immediate watershed of Whale Rock Reservoir owned by the State. Rangeland uses surrounding the state-owned land should provide sufficient protection of the watershed.

Other Rural Areas

15. **The Morros SRA and Critical Viewshed, Including Cerro Cabrillo, Hollister Peak and Associated Hills (SRA).** These unique volcanic peaks stretch from San Luis Obispo to Morro Bay and separate the Chorro and Los Osos Valleys. This chain of peaks forms spectacular scenic backdrops and natural landmarks that rise above the valley floor and help define the character of the area.

The SRA covers Cerro Cabrillo, Hollister Peak and associated hills from the tops of these peaks, hills and connecting ridges down to the 300-foot elevation. These areas correspond to the visually prominent peaks and backdrops that are visible from Highway 1, Los Osos Valley Road, Turri Road, and South Bay Blvd. The SRA standards in this plan are intended to protect scenic vistas from those roads.

16. **Camp San Luis Obispo Relict Grasslands (SRA).** Along the northern boundary of this former military reservation are several relict stands of grasslands, typical of the original central valley prairie. The dominant grass is Purple Needle grass.

F. Highway 1 - Cayucos Critical Viewshed (not an SRA).

This Critical Viewshed covers areas inland of and generally visible from Highway 1, between the highway and the first prominent ridgeline or ridge top approximately between Toro Creek Road and Villa Creek. These steep, open hillsides are bisected by narrow valleys and provide a scenic backdrop to views of the bay and coastline. The purpose of this Critical Viewshed is to protect scenic views that help define the character of this area.

This Critical Viewshed includes most of the Cayucos hillsides the relatively small, subdivided lots in the Morro Rock View and Morro Strand subdivisions situated above Cayucos and outside of the Cayucos urban reserve line. There are numerous legal lots in that area that have the potential to be developed. Accordingly, the visual standards for Critical Viewsheds in the Coastal Zone Land Use Ordinance are not intended to keep those hillsides pristine or deter development. Instead, the standards will help assure that the visual effects of any development will be minimized through the siting and design of roads, grading and structures.

IV. AREAWIDE WATER QUALITY

Polluted stormwater runoff is also known as nonpoint source pollution, and includes natural sources. It is the major contributor of pollution to affected streams, lakes, marine waters, groundwater basins, wetlands, and estuaries in California, and is an important contributor of pollution to harbors and bays (California Clean Water Act, Section 305(b) Report on Water Quality, 1998). Of the seven priority problems identified in the Morro Bay National

AREAWIDE WATER QUALITY

Estuary Program's *Comprehensive Conservation and Management Plan for Morro Bay*, four involve nonpoint source pollution: sedimentation, bacteria, nutrients, and heavy metals/toxic pollutants.

The following policies address the control of nonpoint source pollution. Implementation of these and other policies, together with the implementing programs in this plan and the standards in the Coastal Zone Land Use Ordinance, will help prevent and control polluted runoff, thus leading to improved coastal water quality and enhanced coastal resources and uses.

Please refer to the following Section V for policies regarding nonpoint source pollution within the Morro Bay estuary and its watershed. Additional policies for protecting water quality within coastal watersheds are found in the *Coastal Plan Policies* in the chapter titled Coastal Watersheds. In the Estero Planning Area, the policies regarding nonpoint source pollution are implemented by programs that are described in the following Section VI.

Detailed performance standards for grading and drainage in new development are found in the Coastal Zone Land Use Ordinance. Those standards, together with standards for protection of environmentally sensitive habitats--especially for buffer areas between development and sensitive areas--will help protect the quality of coastal waters.

A. Policies, Areawide

1. Maintain, and where feasible, restore the quality and biological productivity of coastal waters, streams, wetlands, estuaries, and lakes in order to protect human health and maintain optimum populations of marine and other wildlife.
2. Control, and where feasible, prevent nonpoint source pollution resulting from private and public development and land management practices.
3. Avoid, and if not feasible, minimize impacts to watershed from erosion, runoff, pollution, and water diversions by new public and private development.
4. Minimize erosion, siltation and water pollution by promoting sound land management practices and minimizing the amount of impervious surfaces on public and private lands.
5. Support agriculturalists and other landowners that participate in education and assistance programs and other voluntary and cooperative programs that encourage sustainable land management practices (Best Management Practices) that reduce erosion, sedimentation and nutrient levels in the watershed.
6. Encourage agriculturalists and other landowners to take steps to reduce pesticide use, explore use of integrated pest management, consider environmental impacts in choosing pesticides, and use other measures that can reduce contamination of surface and groundwater from pesticides.
7. Promote use and maintenance of engineered, vegetated treatment systems such as constructed wetlands, vegetated swales or vegetated filter strips where they will reduce nonpoint source pollution from private and public development.

V. MORRO BAY ESTUARY AND ITS WATERSHED

A. Policies, Areawide

1. Slow the process of bay sedimentation. Keep Chorro and Los Osos Creeks and other watercourses free of excessive sediment and other pollutants to maintain fresh water flow into the estuary, nurture steelhead and support other plant and animal species.
2. Implement provisions of Total Maximum Daily Loads (TMDLs) as they are developed for Chorro Creek, Los Osos Creek and the Morro Bay estuary consistent with Regional Board requirements.
3. Support efforts to ensure a level of water quality in the bay that supports recreation, viable commercial fishing and shellfish mariculture industries, healthy eelgrass beds, and thriving fish and shellfish populations.
4. Promote a voluntary, cooperative, educational, and incentive-based approach to protect Morro Bay and its watershed.
5. Where feasible, implement applicable provisions of the *Comprehensive Conservation and Management Plan for Morro Bay* published by the Morro Bay National Estuary Program through special programs, land use planning strategies, review of development proposals, and public education.
6. Where appropriate, continue to obtain open space easements for sensitive wetlands and bayfront areas, and encourage other agencies and conservation organizations to obtain open space and conservation easements and fee title to these areas.
7. Support efforts to find a consensus-based resolution to the conflicts between hunting and other human uses of and adjacent to the bay.
8. Use a watershed approach to land use planning, such as initiating a change to the planning area boundaries of the Estero and adjacent planning areas to make them correspond to the boundaries of the Morro Bay watershed.
9. Reduce bay sedimentation by reducing the potential for a large, damaging fire through good fuel management practices such as livestock grazing and prescribed fire. Land use should be consistent with the ability to implement those practices.

B. Background

The Morro Bay estuary is a unique resource of national importance. In 1995, Morro Bay became a National Estuary, a distinction given to only 28 estuaries nationwide. Morro Bay is also the first State Estuary, having earned that honor in 1994, and consists of about 2,300 acres of tidal lands and open water bordered by the community of Los Osos, the city of Morro Bay, and Morro Bay State Park.

The Morro Bay watershed is essential to the health of the bay. It consists of about 48,000 acres of agricultural, forest and urban lands where streams and other runoff eventually flow

MORRO BAY ESTUARY AND ITS WATERSHED

to the estuary and mix with saltwater from the ocean. The watershed contains a wealth of natural resources, from croplands and grazing lands to forests, streams, and other valuable wildlife habitats. The watershed is also the home and work place of many people, from Los Osos and the city of Morro Bay to Cuesta College, Camp San Luis Obispo, the California Mens Colony, and surrounding rural areas.

The Morro Bay Estuary supports the most significant wetland system on the south central coast. The estuary, together with its watershed, supports a variety of valuable natural and human resources and activities:

- Crop production on fertile bottom lands and grazing on hillsides, and aquaculture
- An established commercial fishing industry
- Spawning grounds for fish and marine life
- Habitat for shorebirds, waterfowl, migrating birds, and more than 24 threatened or endangered plants and animals
- Tourism and recreation, such as fishing, boating, kayaking, golfing, and tourist attractions
- Electric power generation

Morro Bay and its watershed are a rare national treasure. Its scenic wonder is enjoyed by residents and visitors alike, its natural habitats support abundant wildlife, and its resources provide a livelihood for many people and for industries that are vital to the local economy. All of these things, however, depend on maintaining the health of the estuary.

Morro Bay is still relatively unspoiled. However, evidence shows that the estuary is threatened by the effects of an unnaturally fast rate of sedimentation. Other water quality concerns and loss of habitat also threaten the bay. These threats are recognized by the many agencies and groups that have an interest in the bay and its watershed.

A watershed management plan to guide the future of the estuary has been prepared with the participation of government agencies, interest groups and landowners that have an interest in the bay. The intent of that plan is to help achieve goals such as slowing sedimentation of the bay, maintaining water quality, maintaining the functioning of the watershed and its diversity of habitats, reestablishing healthy steelhead habitat, and promoting public awareness and involvement in watershed management issues.

The boundaries of the Morro Bay watershed extend beyond the Estero Planning Area into portions of the Salinas River and San Luis Obispo and San Luis Bay Planning Areas. The upper portions of the watershed extend up the Los Osos and Chorro Valleys and Cuesta Ridge (see Figure 6-3).

Land use and development activity in the upper portions of the watershed have a great effect on downstream areas within the Estero Planning Area--and ultimately on the Morro Bay estuary. These downstream effects involve water supply, erosion, pollution, and habitat, for example. Accordingly, land use planning and decisions need to consider the

MORRO BAY ESTUARY AND ITS WATERSHED

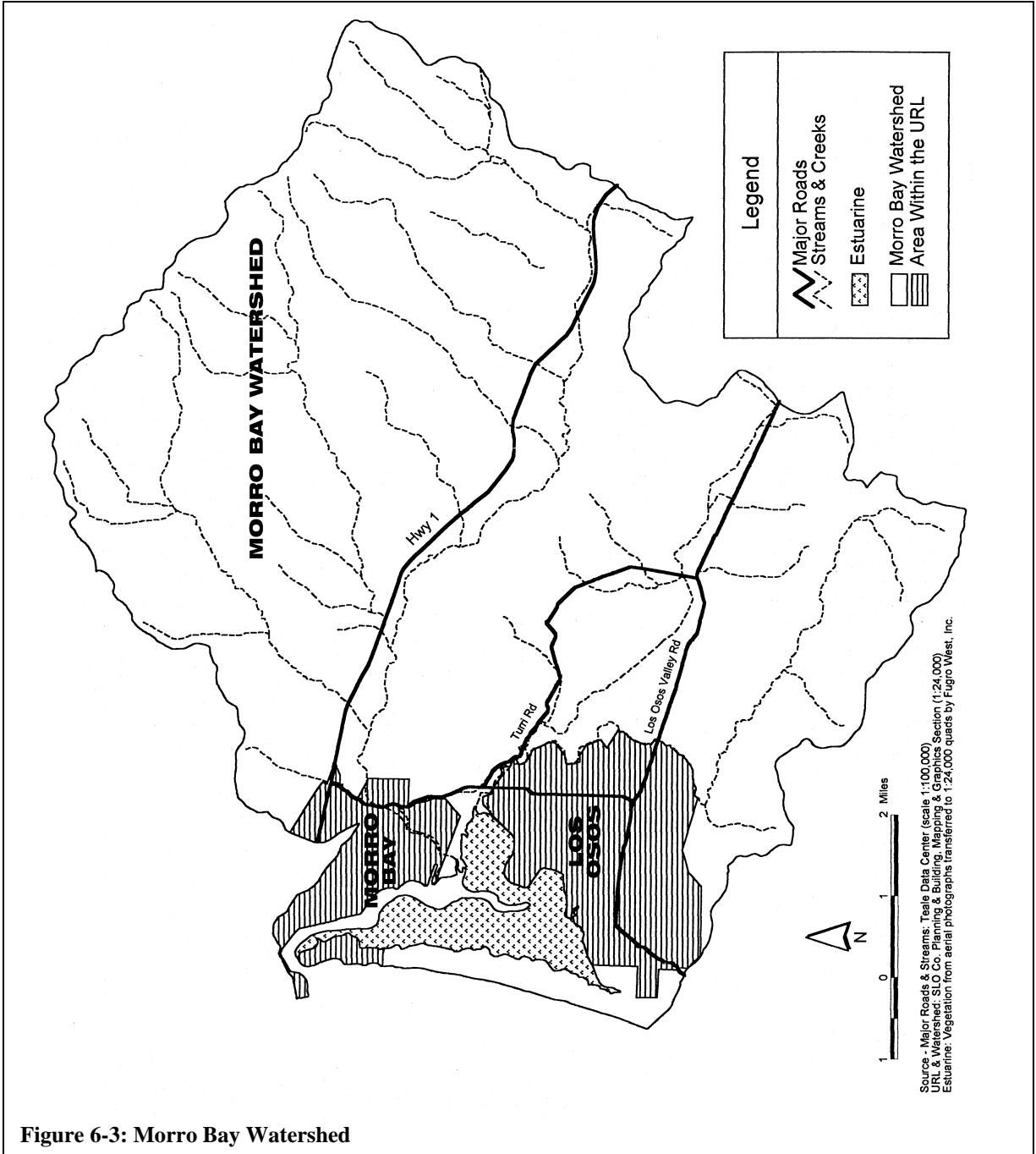
affects of activities in the upper watershed on the rest of the watershed and on the Morro Bay estuary.

The effects of a wildfire, natural or human-caused, on the watershed is dramatic. The 1994 Highway 41 fire burned all of the chaparral vegetation in Morro Bay's upper watershed (9,700 acres or 35 percent of the Chorro Creek watershed). The following winter, runoff from heavy El Niño rainstorms caused major rill and gully erosion on the steep, barren slopes of Cuesta Ridge. A sediment transport study conducted in 1998 estimated that the resulting "pulse" of sediment entering tributaries to Chorro Creek was a "5,000 year event" (*Morro Bay Estuary Watershed Fire Management Plan Draft, 2002*).

While preventing all fires is both impossible and environmentally unsound, reducing the potential for a wildfire that consumes huge blocks of the watershed is important. The method to do this is generally prescribed fires that provide a younger age class of vegetation that is less volatile, making suppression easier. The existing agricultural and rural character of the rural portions of the watershed should be maintained so that prescribed fires and other fuel reduction projects such as livestock grazing can be employed, creating large zones of reduced fuels. Fire suppression activities can also create erosion problems following a wildfire. A developed area will require more suppression activities such as creating fire breaks to protect development.

In recognition of the watershed as a single, inter-related system, the update of this plan has taken into consideration the entire Morro Bay watershed. The upper portions of the watershed outside of the Estero Planning Area totaling about 17,400 acres (about 27 square miles) were identified as a "secondary study area." Land uses and environmental constraints in this secondary study area were studied in connection with the goals, policies, standards, and programs of this plan. Ideally, the Estero Planning Area boundaries should correspond to the limits of the Morro Bay watershed. That would make it easier to take a comprehensive watershed approach to land use planning.

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VI. PROGRAMS

"Programs" are recommended non-mandatory actions to achieve community or areawide objectives identified in this area plan. Implementation of each LUE program is the responsibility of the county or other public agency identified in the program itself and in the table at the end of this chapter. Because programs (some of which include special studies) are recommended actions rather than mandatory requirements, implementation of any programs should be based on consideration of community needs, community support and available funds.

The following programs are grouped under the headings Specific Combining Designations, Other Sensitive Habitat, Morro Bay Estuary and its Watershed: Protection and Management.

A. Specific Combining Designations

Sensitive Resource Areas (SRA):

1. **Camp San Luis Obispo Relict Grasslands Protection.** California Polytechnic State University should make every effort to ensure that grazing does not adversely impact this grassland, and should avoid planting introduced and competitive grass species in or adjacent to the identified grassland.
2. **Cayucos Monarch Butterfly Habitat Protection, Enhancement and Management.** The county should support acquisition in fee or by easement of this significant habitat. The county should also encourage preparation of a habitat management plan to assure the long-term continuance of the habitat. The plan should include strategic planting to enhance the habitat.

Historic Site (H)

3. **Cayucos Pier.** The county should work with the State to develop interpretive facilities to identify and explain the historic significance of the Cayucos Pier.

Geologic Study Area (GSA): Coastal Bluffs, Cayucos and Vicinity

4. **Seawalls.** The County Planning and Building Department should seek grant funding for and prepare a program to avoid permanent armoring of the shoreline and minimize impacts to the shoreline in developed areas using a long-term, comprehensive approach. The program should include preparation of an areawide shoreline erosion and bluff management plan focusing on annual bluff erosion rates and sand supply; bluff retreat and setbacks; emergency armoring procedures; and shoreline protection structure design, engineering, monitoring, and maintenance. The management plan should help determine whether it would be appropriate to allow construction of seawalls where seawalls already exist on the abutting properties on each side. If so, the county should initiate an amendment to the Local Coastal Program, after consultation with the Coastal Commission, to accordingly revise the Coastal Plan policy and implementing Coastal Zone Land Use Ordinance provisions regarding construction of shoreline structures.

B. Other Sensitive Habitat

1. **Protection and Management of Sensitive Habitats.** The county should work closely with public agencies and conservation organizations to protect and manage sensitive resources.
 - a. **Strategies.** Strategies to protect and manage sensitive habitats may include encouraging acquisition in fee or by easements (such as conservation easements) by public agencies or conservation organizations, obtaining easements in connection with development projects, and implementing programs such as transfer of development credits and mitigation banking.
 - b. **Location and Types of Habitat.** The county should pursue protection and management of the following sensitive habitats (not in priority order) through a variety of strategies that may include easements and agreements for property under private ownership and management, and acquisition by conservation organizations or public agencies:
 - Eto and Warden Lakes
 - Villa Creek Lagoon and sandy beach--while limited public access should be provided and monitored due to the sensitive nature of this area, wetlands should be protected and not be disturbed by trails or other improvements
 - Ecologically significant areas containing riparian habitat, oak woodland, coastal sage scrub, dune scrub, coastal strand, or maritime chaparral communities
 - Areas adjoining the Los Osos Oaks State Reserve that contain outstanding examples of pygmy oaks.
 - c. **Characteristics of Sensitive Habitat.** Where feasible, the county should seek to protect contiguous areas of sensitive habitat that:
 - Support or could support rare, threatened or endangered species
 - Include a range of vegetation types and slopes to provide heterogeneity
 - Are sufficiently large to support ecosystem processes.
 - Include buffer areas that separate habitat from incompatible uses
 - Include continuous wildlife corridors
2. **Plover Habitat Mapping.** The County Department of Planning and Building should work with the U.S. Fish and Wildlife Service, the California Department of Fish and Game, the State Department of Parks and Recreation, and other applicable organizations to identify shoreline areas that provide existing or potential habitat for the Western snowy plover as Sensitive Resource Areas and Environmentally Sensitive

Habitats. The land use categories of these areas should be re-evaluated, and planning area standards should be established as appropriate.

C. Water Quality, Cayucos and Rural Area

1. **Street Sweeping.** The County Public Works Department should establish a program to sweep streets just before each rainy season in order to reduce the amount of debris, bacteria and other pollutants entering creeks, the Morro Bay estuary and the ocean.
2. **Roads and Bridges.** The County Public Works Department should identify opportunities to reduce runoff, sedimentation and the volume and concentration of pollutants entering surface waters from county bridges and paved and unpaved roads. Measures to control sediment and other pollutants may include vegetated filter strips, grassed swales, detention basins, constructed wetlands, infiltration trenches, and sediment traps.
3. **Sediment Reduction on County-owned Lands.** The county should install and maintain sediment traps where appropriate in order to reduce sediment transport to coastal waters. The county should develop and implement other Best Management Practices to reduce sedimentation that can be used according to varying conditions and needs. The county should seek technical assistance from and coordinate with agencies such as the Natural Resources Conservation Service, Coastal San Luis Resource Conservation District and the California Department of Fish and Game.
4. **Creek Restoration on County-owned Lands.** Where streambank erosion is a concern, the county should implement creek restoration projects and other management measures to improve streambank morphology and stability, enhance riparian habitat and improve water quality. The county should seek technical assistance from and coordinate with agencies such as the Natural Resources Conservation Service, Coastal San Luis Resource Conservation District, the California Department of Fish and Game, U.C. Cooperative Extension, the County Farm Bureau, and the Regional Water Quality Control Board.
5. **Fertilizer and Pollutant Runoff from County-owned and Managed Lands.**
 - a. The county should develop and implement a variety of Best Management Practices to decrease fertilizer runoff from county-owned and managed properties such as the Dairy Creek and Morro Bay Golf Courses.
 - b. The Parks Division of the Department of General Services should provide receptacles for disposal and pick-up of pet waste in recreation areas heavily used by pets.

D. Morro Bay Estuary Water Quality

1. **Live-aboard Boats.** The County Division of Environmental Health should provide technical assistance to the City of Morro Bay, the U.S. Coast Guard and the California Department of Fish and Game in their enforcement and educational efforts to decrease levels of bacteria from live-aboard boats.

PROGRAMS

2. **Abandoned Boats.** The Sheriff's Dive Team should assist in efforts to remove illegal moorings and abandoned, derelict boats and vessels in the back bay to reduce the potential for bacterial pollution in the vicinity of shellfish harvest areas.
3. **Pump-Out Facilities.** The County Division of Environmental Health should assist in efforts to improve accessibility of pump-out facilities to boat owners, and in providing educational materials to boaters about the impacts of waste discharge and the locations of pump-out facilities.

E. Morro Bay Estuary and its Watershed: Protection and Management, Cayucos and Rural Area

The county and other appropriate agencies and organizations should protect and manage the estuary and its sensitive habitats, with emphasis on minimizing sedimentation of the estuary.

1. **Public Acquisition.** The State Department of Parks and Recreation and Department of Fish and Game should continue to give high priority to their program of acquisition of bayfront areas.
2. **Public Access.** Appropriate agencies should manage public access to minimize impacts on the Morro Bay shoreline and estuary by taking actions that include the following:
 - a. The Morro Coast Audubon Society should monitor the impacts of access on the Sweet Springs Preserve and manage access to protect habitat.
 - b. The county should adopt ordinances to prohibit off-road vehicle use along the bay, and to prohibit overnight camping along the shoreline of the bay, except in designated county or state campgrounds.
3. **Monitoring and Restoration.** The State Department of Parks and Recreation and other applicable agencies should monitor and restore sensitive habitats as follows:
 - a. Monitor the impacts of deposition of soils on the Morro Bay sandspit.
 - b. Continue the program to revegetate the sand spit to control sedimentation of the bay; encourage the city of Morro Bay to pursue a similar program for the portion of the sand spit within the city limits.
 - c. Monitor the impacts of urban runoff on water quality at the Sweet Springs preserve.
 - d. Restore disturbed areas to reestablish the former natural vegetation communities such as coastal dune scrub and maritime chaparral.
 - e. Establish ongoing programs to control the spread of exotic species in sensitive habitats.

4. **Planning Area Boundaries.** The county should initiate a change to the Estero Planning Area and adjacent planning areas to make the planning area boundaries correspond to the boundaries of the Morro Bay watershed. This can facilitate management of water quality and other impacts of land use within the entire watershed on the Estero Planning Area, especially the Morro Bay Estuary.

F. Local Coastal Plan

1. **State Tidelands.** The county should request that the State Lands Commission undertake a survey of the extent of the State tidelands in the Cuesta Inlet area.

The following table summarizes the preceding recommended programs to be implemented by the county or other public agencies. In the table, the first column, "Program No.," identifies the program by its number in the preceding text. The second column, "Program," identifies the subject of the program. The column under "Responsible Agencies" lists which public and/or private agencies have primary responsibility for carrying out each program. The column, "Potential Program Funding," lists potential sources of funding for each program. The column, "Time Frame," identifies whether each program is expected to be carried out over a short, medium, or long-term period, or whether the program requires an on-going effort. The column, "Target Date," lists the estimated date by which each program should be implemented. The last column, "Priority," ranks each program according to whether it has a high, medium or low priority for implementation. This will help decision makers and the public decide how to allocate limited funds.

Table 6-1: Schedule for Completing Recommended Programs

Program No.	Program	Responsible Agencies	Potential Program Funding	Timeframe	Target Date	Priority
A. Specific Combining Designations						
A1.	Grassland Protection	Cal Poly	State	On-Going	On-Going	Medium
A2.	Monarch Butterfly Habitat	Co. Planning	State, Fish & Wildlife	On-Going	On-Going	High
A3	Cayucos Pier Facilities	Co. Parks, State	Facilities Fees, State	Med.-Term	2010	Medium
A4.	Seawalls: Coastal Erosion Study; LCP Amendments	Co. Planning	County	Med.-Term	2010	Medium
B. Other Sensitive Habitat						
B1.	Protection & Management	Co. Planning, Others	Grants, Developers and Others	On-Going	On-Going	High
B2.	Plover Habitat Mapping	Co. Planning	County Grants	Short-Term	2005	Medium

PROGRAMS

C. Areawide Water Quality						
C1.	Street Sweeping	Pub. Works	County, Grants	Short-Term	2005	Medium
C2.	Roads, Bridges	Pub. Works	County, Grants	Med.-Term	2010	Medium
C3.	Sediment Reduction	Pub. Works, Gen. Services	County, Grants	Short-Term	2005	Medium
C4.	Creek Restoration	Pub. Works, Gen. Services	County, Grants	Med.-Term	2010	Medium
C5.	Pollutant Runoff	Co. Parks	County, Grants	Short-Term	2005	Medium
D. Morro Bay Estuary Water Quality						
D1.	Live-Aboard Boats	Env. Health	County, Grants	On-Going	On-Going	Medium
D2.	Abandoned Boats	Sheriff	County, Grants	Medium-Term	2010	Medium
D3.	Pump-out Facilities	Env. Health	County, Grants	Short-Term	2005	Medium
E. Morro Bay Estuary and its Watershed: Protection and Management						
E1.	Acquisition	Public Agencies, Conservation Organizations	Public Agencies, Others	On-Going	On-Going	High
E2.	Public Access Management	Public Agencies, Audubon Society	Public Agencies, Audubon Society	On-Going	On-Going	High
E2b.	Off-Road Vehicle, Overnight Camping Ordinances	Co. Planning	County	Short-Term	2005	Medium
E3.	Habitat Monitoring and Restoration	State Parks, Other Agencies	State	On-Going	On-Going	High
E4.	Planning Area Boundaries	Co. Planning	County	Short-Term	2005+	High
Audubon Society	Morro Coast Audubon Society					
Co. Planning	County Department of Planning and Building					
Pub. Works	County Department of Public Works					
Gen. Services	County Department of General Services					
Co. Parks	County Department of General Services, Parks Division					
Env. Health	County Division of Environmental Health					
Fish & Wildlife	U. S. Fish and Wildlife Service					
State Parks	State of California Department of Parks and Recreation					

CHAPTER 7: PLANNING AREA STANDARDS



I. INTRODUCTION

The local planning area standards in this chapter are intended to protect and enhance the planning area's abundant natural resources and scenic beauty. At the same time, they provide opportunities to improve jobs, services, recreation, and tourism. The standards implement the vision, goals and policies described in the preceding chapters.

Planning Area standards are mandatory requirements for development, and are intended to respond to concerns in particular areas or communities. Planning area standards can range from special setbacks in one neighborhood, to limits on the kinds of land uses normally allowed by the Land Use Element (Table O, and Coastal Table O, Part I) because of certain community conditions.

Planning area standards apply to certain activities, development, and establishment of new land uses. They must be satisfied before a land use can be established.

Planning area standards apply to development in addition to provisions of the Local Coastal Program Policy Document and the Coastal Zone Land Use Ordinance (CZLUO). Where planning area standards conflict with the CZLUO, these standards control. Any density bonus shall meet the standards of the CZLUO and the Coastal Plan policies of the LCP, unless such density bonus is specifically set forth in the area plan standard. In any case where this area plan designates a property in the Open Space or Recreation land use categories; in the Sensitive Resource or Historic Area combining designations; or where the LUE identifies a need for open space preservation through easement, contract or other instrument; such designation does not in and of itself convey or imply any right of public use, access, trespass or violation of privacy.

CHAPTER ORGANIZATION

Land dedications and other exactions identified in this plan are intended to mitigate the impacts of specific development proposals, and to insure consistency with the Local Coastal Program. In some circumstances, the county may conduct a nexus and proportionality study to provide the practical and legal basis for the proposed exactions. Dedications and exactions will be pursued consistent with Section 30001.5 of the California Coastal Act considering the need to:

1. Assure the orderly, balanced utilization and conservation of coastal zone resources taking into account the social and economic needs of the people of the state; and
2. Maximize public access to and along the coast and maximize public recreation opportunities in the coastal zone consistent with sound resource conservation principles and constitutionally protected rights of private property owners.
3. Protect, maintain, and where feasible, enhance and restore the overall quality of the coastal zone environment and its natural and artificial resources.
4. Assure priority for coastal-dependent and coastal-related development over other development on the coast.

Estero planning area standards are organized under several headings describing locations in the planning area where they apply. Standards are grouped first by the entire planning area, second by area or community, then by land use category, and finally under headings naming a specific area or location where the standard must be satisfied.

In addition to planning area standards, this chapter also includes guidelines. Guidelines provide further direction on how to implement the goals and policies of this plan. Guidelines are advisory, but are to be used in evaluating projects such as land divisions, Minor Use Permits and Development Plans. A variety of approaches may satisfy the intent of the guidelines.

II. CHAPTER ORGANIZATION

This chapter contains the following major sections:

I. INTRODUCTION

II. CHAPTER ORGANIZATION

III. AREAWIDE STANDARDS. These standards apply throughout the planning area or within identified areas.

IV. RURAL AREA STANDARDS. These standards apply to locations within the rural area located outside of the communities (urban areas) of Los Osos and Cayucos.

V. CAYUCOS URBAN AREA STANDARDS. These standards apply within the urban area (within the urban reserve line) of Cayucos.

VI. LOS OSOS URBAN AREA STANDARDS. These standards apply within the urban area (urban reserve line) of Los Osos.

Types of Standards (applies to items IV., V., and VI. above)

Rural Areawide standards apply in all rural land use categories or in specified rural areas.

Combining Designations standards apply to lands in the specified combining designations. For example, in Cayucos, they are the Geologic Study Area (GSA) and Sensitive Resource Area (SRA) designations.

Land Use Category standards apply to all land within the specified land use categories, unless a sub-heading identifies specific areas or properties where the standard applies. Standards may apply within the following land use categories:

Agriculture	Open Space	Residential Suburban
Commercial Retail	Recreation	Rural Lands
Commercial Service	Residential Rural	Public Facilities
Industrial	Residential Multi-Family	
Office and Professional	Residential Single Family	

Example Outline of Planning Area Standards

V. CAYUCOS URBAN AREA STANDARDS (major section)

COMMERCIAL RETAIL: The following standards apply only to lands within the Commercial Retail land use categories

A. Central Business District (subsection)

- 1. Building Height, Mass, Scale, and Pedestrian Orientation.** (standard)
 - a. **Measurement of Height.** (standard)
 - b. **Building Height.** (standard)

Guidelines (guideline)

- *Reduce building mass as seen from streets by...*(guideline)

III. AREAWIDE STANDARDS, EXCLUDING LOS OSOS

The following standards apply throughout the Estero Planning Area, or in the specific locations or land use categories listed, but not in the Los Osos urban area. They are intended to protect natural and cultural resources, encourage high quality residential development, and provide an efficient transportation system that encourages walking, bicycling and other types of transportation.

A. Resource Protection

- 1. Clustered or Concentrated Development.** Wherever standards in this chapter call for clustering or concentrating development to protect identified sensitive features, land

AREAWIDE STANDARDS, EXCLUDING LOS OSOS

divisions, Minor Use Permits and Development Plans shall comply with the following (refer also to the Los Osos combining designation standards for Baywood Fine Sands in following Section VI):

- a. **Reports.** When required by the Coastal Zone Land Use Ordinance or the Planning Director, a biological or other applicable report that addresses identified sensitive feature(s) shall be prepared by a qualified professional approved by the Environmental Coordinator. The report shall make recommendations regarding compliance with the following standards b through i., in addition to any applicable requirements of the Coastal Zone Land Use Ordinance.
- b. **Development Location.** Development in land divisions, lot-line adjustments, and other development projects shall be located away from identified sensitive features on or adjacent to the site, and in areas most suitable for development. Development on all proposed building sites shall result in no adverse impacts to environmentally and other sensitive areas, including avoidance of the required setbacks, buffers and fuel modification zones, as verified by the required biological report.
- c. **Setbacks.** Development shall include sufficient setbacks/buffers to protect environmentally sensitive areas (see the following standard A2); at a minimum, the setbacks from environmentally sensitive habitats required in this plan and in Chapter 23.07 of the Coastal Zone Land Use Ordinance, as applicable.
- d. **Extent, Intensity of Development.** The number of dwelling units, intensity of development and site coverage shall be consistent with protection of identified sensitive features on or adjacent to the site.
- e. **Protection of Sensitive Features.** Identified sensitive features shall be protected through building controls, mitigation agreements, easements, participation in a transfer of development credits (TDC) program, or other means, consistent with applicable legal requirements to allow reasonable use of the site.
- f. **Arrangement of Open Space.** Where feasible, open space areas or parcels shall consist of larger, contiguous areas rather than smaller, disconnected pockets of open space. Where feasible, in order to protect biological resources and wildlife migration corridors, open space areas or parcels shall connect to adjacent open spaces areas.
- g. **Cluster Options.** Land divisions shall be designed to comply with preceding standards a - f by using any of the following options. Concentrated development, which results from use of options (2) through (4), shall fully and permanently protect identified sensitive features without causing adverse environmental impacts:
 - (1) Cluster land division standards in Chapter 4 of the Coastal Zone Land Use Ordinance.

AREAWIDE STANDARDS, EXCLUDING LOS OSOS

- (2) Cluster land division standards of the Coastal Zone Land Use Ordinance, but with an open space parcel(s) smaller than required.
- (3) Conventional land division standards in Chapter 4 of the Coastal Zone Land Use Ordinance.
- (4) Any applicable standards for common interest developments and Planned Developments in the Coastal Zone Land Use Ordinance.

2. Environmentally Sensitive Areas--Clustered Development and Habitat Protection Required.

- a. Cluster or concentrate development on the least sensitive portions of the site in order to protect and sustain environmentally sensitive areas and the following sensitive features:
 - (1) Sensitive Resource Areas and Environmentally Sensitive Habitats as defined in the Land Use Element and Local Coastal Plan.
 - (2) Ecologically significant areas of oak woodland, coastal strand, coastal sage scrub, dune scrub, and maritime chaparral communities--whether or not identified as Sensitive Resource Area combining designations--as defined in the Final EIR for the Estero Area Plan Update and as confirmed in a biological report for proposed development.
 - (3) All riparian habitat corridors, including riparian woodland and riparian scrub communities as defined in the Final EIR for the Estero Area Plan Update--whether or not they border "blue-line" streams as indicated on U.S.G.S. quadrangle maps--as confirmed in a biological report for proposed development.
 - (4) Rare, endangered or threatened species as listed by federal or state agencies or as defined in the State CEQA Guidelines.
 - (5) Other significant stands of vegetation, such as Bishop pine, eucalyptus, and cypress--whether or not identified as Sensitive Resource Area combining designations--that do not need to be removed due to hazardous condition or restoration/enhancement of native habitat.
- b. All development within 100 feet of the preceding sensitive features shall comply with the applicable standards for ESH in the Coastal Plan Policies and in Chapter 23.07 of the Coastal Zone Land Use Ordinance, except as otherwise specified in this plan.
- c. Development shall not significantly disrupt or cause significant adverse environmental impacts to the preceding sensitive features, and shall not diminish the long-term sustainability of the biological resources.
- d. Development on all proposed building sites shall result in no adverse impacts to environmentally and other sensitive areas, including avoidance of the

required setbacks, buffers and fuel modification zones, as verified by the required biological report. Land divisions, lot-line adjustments, and development shall be designed so that fuelbreaks and vegetation or fuel modification areas that are needed to reduce fire hazards do not disrupt or cause adverse impacts to the sensitive features listed in preceding paragraph a. Fuelbreaks and vegetation or fuel modification areas shall be located on the development side of required setbacks from sensitive features, and shall be in addition to the required setbacks, as shown in Figure 7-1.

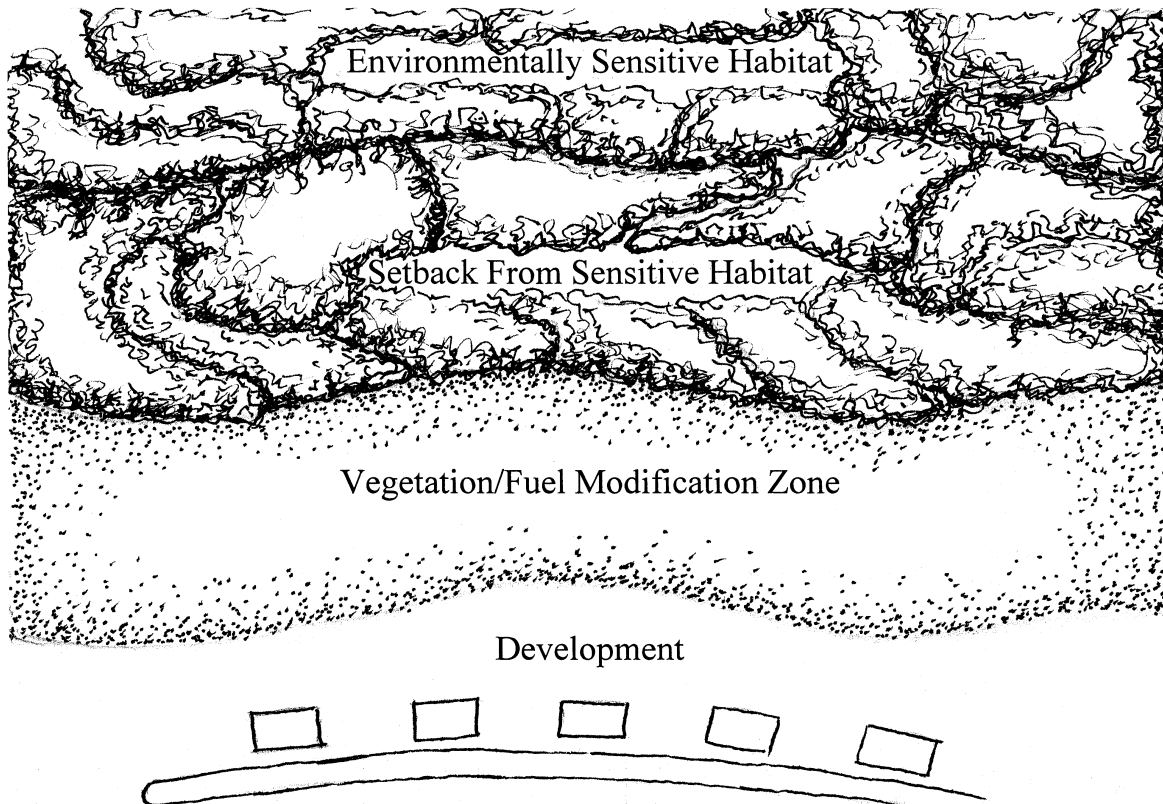


Figure 7-1: Fuel Modification Areas

B. Land Division and Development Design

1. **Overriding Land Division Requirements.** New land divisions shall be prohibited unless all of the following criteria are satisfied:
 - a. Development on all proposed building sites results in no adverse impacts to environmentally and other sensitive areas (including as defined in preceding standard A2) including avoidance of the required setbacks, buffers and fuel modification zones, as verified by the required biological report.
 - b. Building sites shall not be located on slopes or ridgetops so that structures are silhouetted against the sky as viewed from public roads, public beaches, the ocean, or the Morro Bay estuary.

- c. **Development Potential.** The residential densities for new land divisions and development specified in this plan and in the Local Coastal Program are a maximum, and shall be reduced as needed to protect the environmentally sensitive areas as defined in preceding Section IIIA of the Areawide Standards.

2. Development Location

- a. **Environmentally Sensitive Habitat: Site Disturbance.** The following standards apply where it is not feasible to locate a building site without causing adverse impacts to environmentally sensitive areas (as defined in preceding standard A2) and the required setbacks therefrom, as verified by the required biological report.

- (1) The maximum total, aggregate amount of site disturbance shall be limited to avoid and mitigate adverse environmental effects to the maximum extent feasible, except as otherwise provided in the Los Osos combining designations standards for Los Osos Dune Sands in following Section VI., consistent with applicable legal requirements to allow a reasonable use of the site to avoid a takings of property.
- (2) Site disturbance includes disturbance of the following areas in connection with non-agricultural activities: areas covered by structures, roads, utility trenching and pavement; areas on which grading or removal of native vegetation occurs. Site disturbance does not include activities that are consistent with the restoration and maintenance of native plant habitats as guaranteed by project approval.

C. Circulation

- 1. **Consistency with Circulation Element.** All proposed public and private development and circulation improvements shall be consistent with the policies and provisions of Chapter 5 of this plan--the Circulation Element--including recommended roadway, pedestrian, intersection, traffic calming, bikeway, and other improvements.

D. Water Quality

- 1. **Municipal Well-Head Protection--Referrals.** Applications for land divisions, Minor Use Permits and Development Plans within one mile of a municipal well shall be referred to the County Environmental Health Division for review and recommendations in accordance with Chapter 23.06 of the Coastal Zone Land Use Ordinance. Locations of municipal wells include, but are not limited to those shown in Figure 7-2.

E. Coastal Access and Recreation.

Opportunities for public access to and along the coast shall be maximized as follows:

- 1. New development shall be required to provide Public access and improvements to and along the coast, and shall not interfere with the public's right of access to the sea where acquired through use or legislative authorization.

AREAWIDE STANDARDS, EXCLUDING LOS OSOS

2. Public access and improvements to and along the coast shall be consistent with the Circulation Element (see Chapter 5 in this plan) and the coastal access goals and policies in Chapter 8 of this plan.
3. Public access shall be consistent with protection of sensitive habitat and agriculture.
4. Any existing free public access to recreational areas shall be maintained.
5. New publicly-developed coastal access and recreation shall include requirements for resource monitoring and management, and provision of interpretive facilities at points of attraction, consistent with Chapter 23.04 of the Coastal Zone Land Use Ordinance.

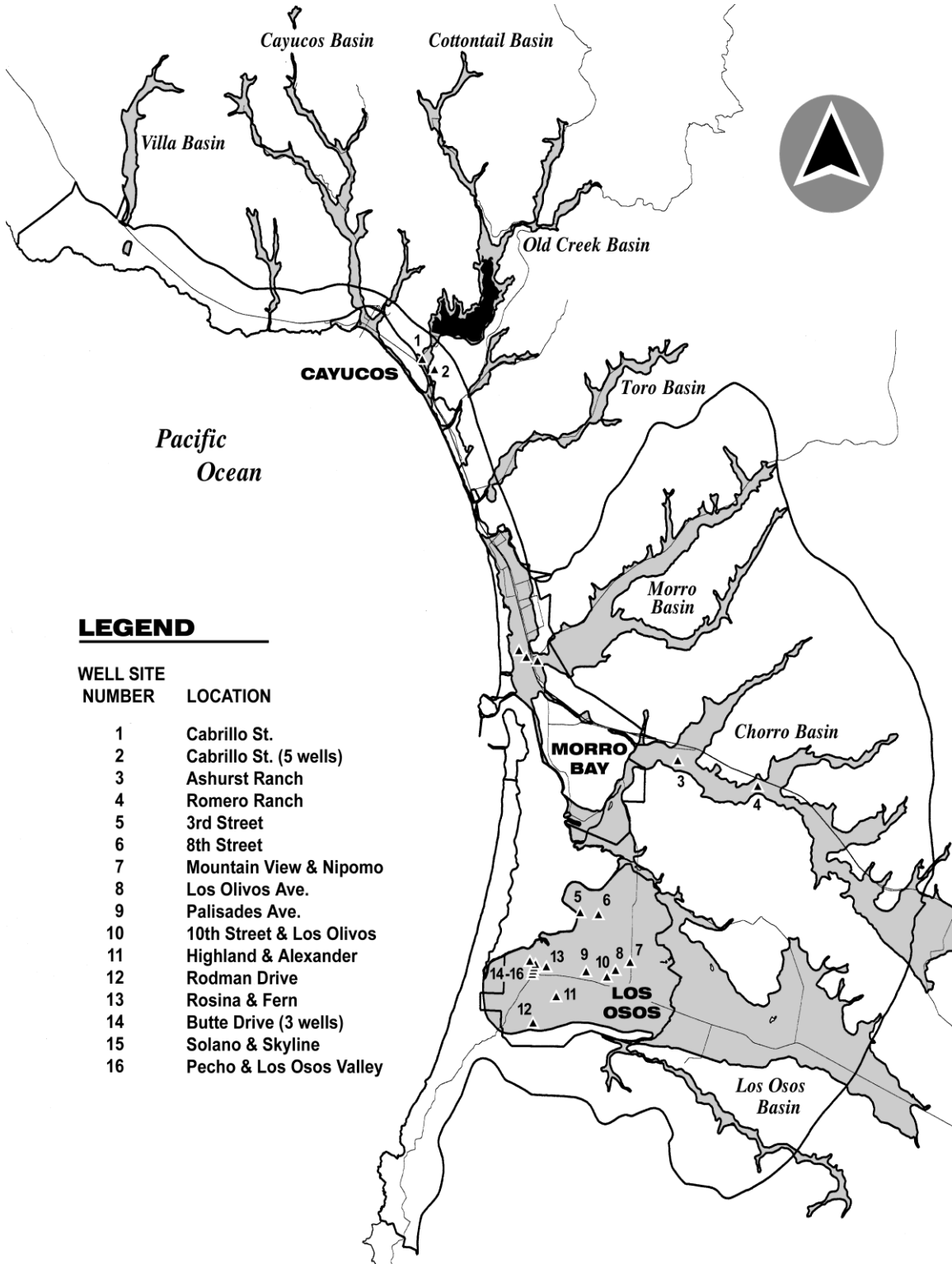


Figure 7-2: Location of Municipal Wells (not all-inclusive)

F. City of Morro Bay Planning Impact Area.

1. Application Referral.

Within the planning impact area shown in Figure 7-3, applications for land divisions, general plan amendments, Minor Use Permits, and Development Plans shall be referred to the city for review, comment and coordination regarding appropriate infrastructure improvements and development standards.

2. Morro and Chorro Groundwater Basins.

Land divisions, general plan amendments, Minor Use Permits, and Development Plans within the Morro and Chorro groundwater basins shown in Figure 7-4 shall not adversely impact aquatic habitats. Environmental review shall evaluate potential impacts of development on groundwater resources.

G. Cayucos Planning Impact Area.

Within the planning impact area shown in Figure 7-5, applications for land divisions, general plan amendments, Minor Use Permits, and Development Plans shall be referred to the Cayucos Citizens Advisory Council or its successor for review and comment.

H. Light and Glare.

At the time of application for any land division, land use permit or coastal development permit, the applicant shall provide details on any proposed exterior lighting, if applicable. Except as necessary to support agricultural operations, all lighting fixtures shall be shielded so that neither the lamp nor the related reflector interior surface is visible from adjacent properties. Light hoods shall be dark-colored.

I. Shoreline Development.

New development or expansion of existing uses proposed to be located on or adjacent to a beach or coastal bluff are subject to the following standards:

1. Application Content.

In addition to the application requirements of the Coastal Zone Land Use Ordinance and other Estero Urban Area Plan Standards, applications for new development or expansion of existing uses proposed to be located on or adjacent to a beach or coastal bluff shall include the following:

- a. An analysis of beach erosion, wave run-up, inundation and flood hazards prepared by a licensed civil engineer with expertise in coastal engineering and a slope stability analysis, prepared by a licensed Certified Engineering Geologist and/or Geotechnical Engineer or Registered Civil Engineer with expertise in soils, in accordance with the procedures detailed by Appendix F of this Plan. The report shall include an alternatives analysis to avoid or minimize impacts to public access.
- b. On lots with a legally established shoreline protective device, the analysis shall describe the condition of the existing seawall; identify any impacts it may be having on public access and recreation, scenic views, sand supplies, and other coastal resources; and evaluate opportunities to modify or replace the existing

AREAWIDE STANDARDS, EXCLUDING LOS OSOS

armorings device in a manner that would eliminate or reduce these impacts. The analysis shall also evaluate whether the development, as proposed or modified, could be safely established on the property for a one hundred year period without a shoreline protective device.

- c. Measurements for the form, mass, scale, and roofing and yard features (such as fencing). To the maximum extent feasible, new development shall be compatible with the character of the surrounding neighborhood.
 - d. Surveyed location of all property lines and the mean high tide line by a licensed surveyor along with written evidence of full consent of any underlying land owner, including, but not limited to the County, State Parks, and State Lands. If application materials indicate that development may impact or encroach on tidelands or public trust lands, the County shall consult with Coastal Commission staff regarding the potential need for a Coastal Development Permit from the Coastal Commission.
 - e. A preliminary drainage, erosion, and sedimentation plan which demonstrates that no stockpiling of dirt or construction materials will occur on the beach; erosion, runoff, and sedimentation measures to be implemented at the end of each day's work; all construction debris will be removed from the beach daily and at the completion of development; and no machinery will be allowed in the intertidal zone. If there is no feasible way to keep machinery out of the intertidal zone, authorization from the Coastal Commission is required.
2. **Bluff Setbacks.** The bluff setback is to be determined by the engineering geology analysis required in I.1.a. above adequate to withstand bluff erosion and wave action for a period of 100 years. In no case shall bluff setbacks be less than 25 feet. Alteration or additions to existing development that is non-conforming with respect to bluff setbacks that equals or exceeds 50 percent of the size of the existing structure, on a cumulative basis beginning July 10, 2008, shall not be authorized unless the entire structure is brought into conformance with this setback requirement and all other policies and standards of the LCP. On parcels with legally established shoreline protective devices, the setback distance may account for the additional stability provided by the permitted seawall, based on its existing design, condition, and routine repair and maintenance that maintain the seawall's approved design life. Expansion and/or other alteration to the seawall shall not be factored into setback calculations.
 3. **Seawall Prohibition.** Shoreline and bluff protection structures shall not be permitted to protect new development. All permits for development on blufftop or shoreline lots that do not have a legally established shoreline protection structure shall be conditioned to require that prior to issuance of any grading or construction permits, the property owner record a deed restriction against the property that ensures that no shoreline protection structure shall be proposed or constructed to protect the development, and which expressly waives any future right to construct such devices that may exist pursuant to Public Resources Code Section 30235 and the San Luis Obispo County certified LCP.
 4. **Liability.** As a condition of approval of development on a beach or shoreline which is subject to wave action, erosion, flooding, landslides, or other hazards associated with development on a beach or bluff, the property owner shall be required to execute and record a deed restriction which acknowledges and assumes these risks and waives any future

AREAWIDE STANDARDS, EXCLUDING LOS OSOS

claims of damage or liability against the permitting agency and agrees to indemnify the permitting agency against any liability, claims, damages or expenses arising from any injury or damage due to such hazards.

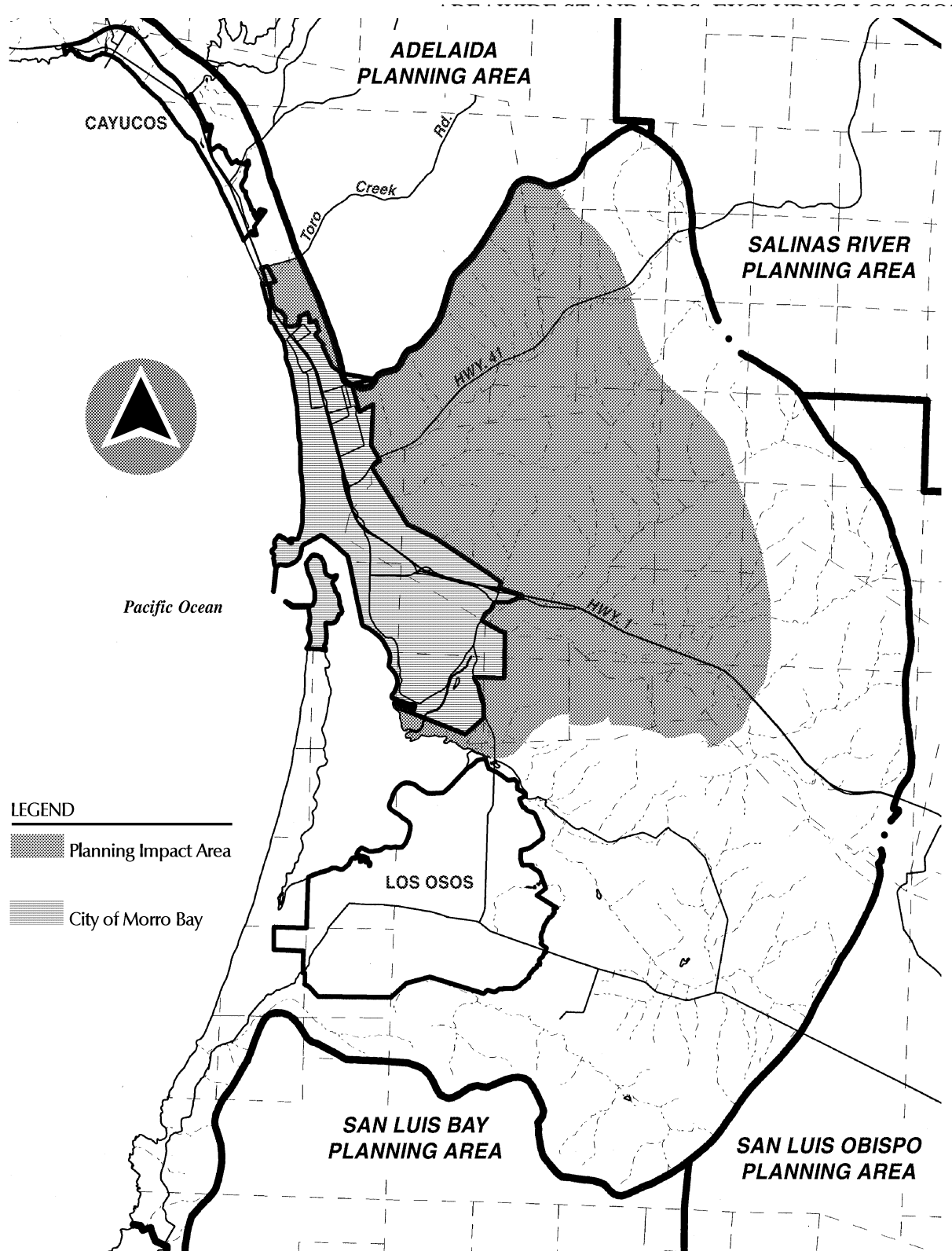


Figure 7-3: City of Morro Bay Planning Impact Area

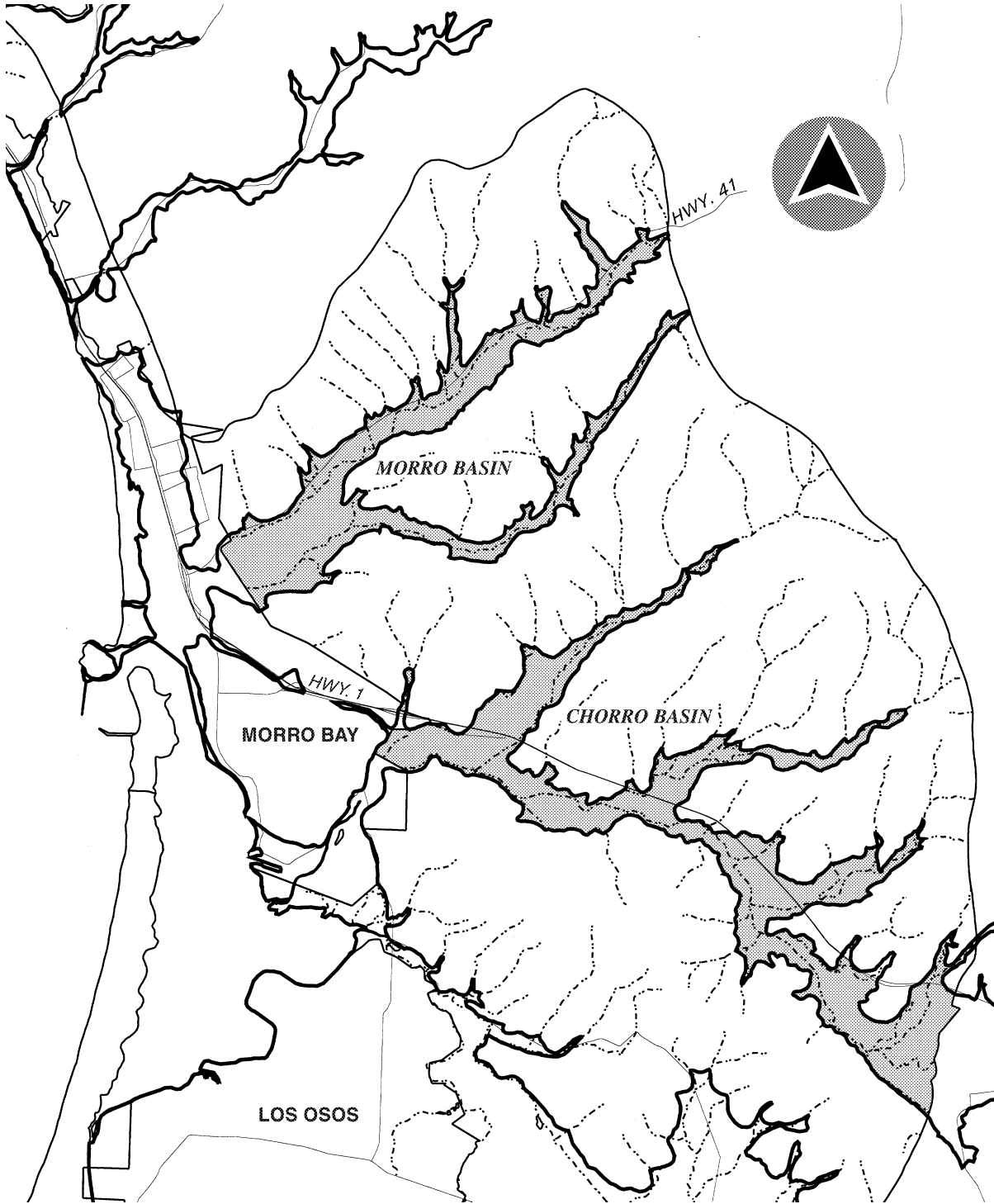


Figure 7-4: Morro and Chorro Groundwater Basins

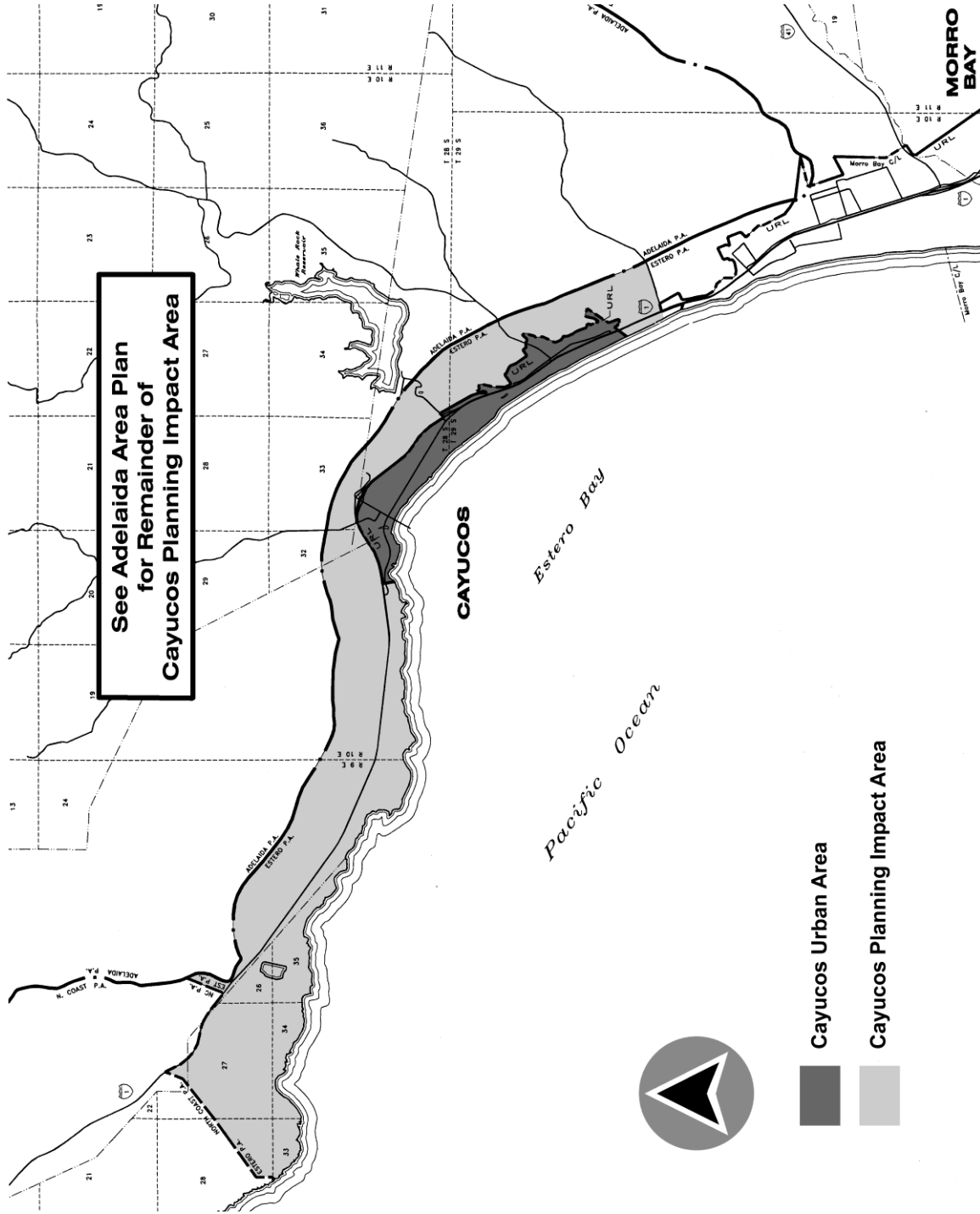


Figure 7-5: Cayucos Planning Impact Area

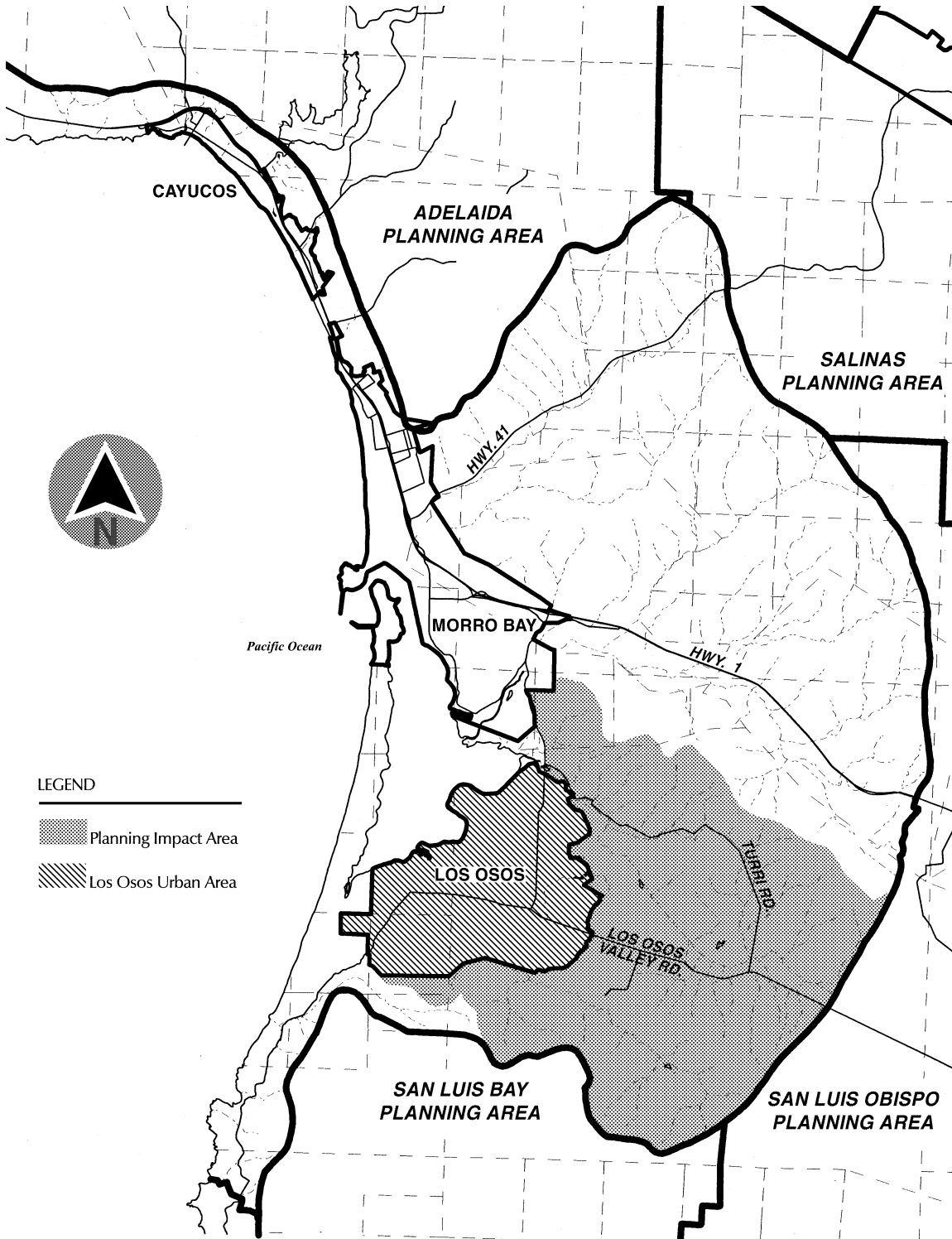


Figure 7-6: Los Osos Planning Impact Area
(For Reference Only)

IV. RURAL AREA STANDARDS

The following standards apply to lands in the Estero Planning Area outside of urban and village reserve lines, in the land use categories or specific areas listed.

AREAWIDE:

The following standards apply to projects proposed in all rural land use categories or in specified rural areas.

A. Circulation

1. **Areawide Systems** - New development in land divisions, Minor Use Permits and Developments Plans shall be integrated into areawide circulation and utility easements, providing for future extensions into adjacent undeveloped properties wherever feasible or where known areawide rights-of-way are planned, unless such physical extensions would induce growth potentially inconsistent with the LCP.
2. **Driveways** - Land divisions, Minor Use Permits and Development Plans shall include, where possible, provisions for combining driveways serving proposed parcels wherever terrain and adequate sight distance allow.

Site Planning Within the Coastal Zone

B. Irish Hills Scenic Backdrop Critical Viewshed and Los Osos Valley Road Scenic Corridor.

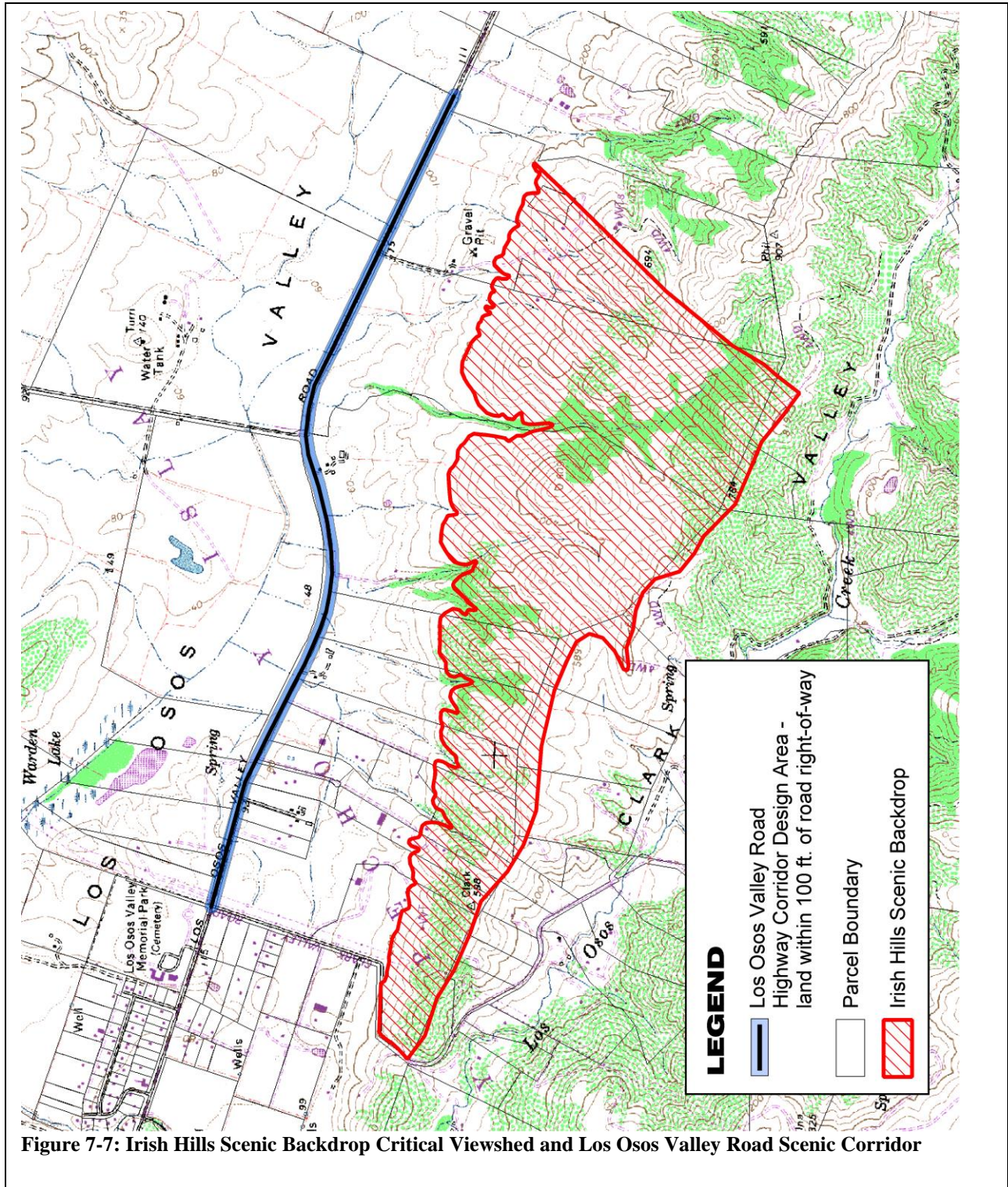
The Irish Hills Scenic Backdrop Critical Viewshed and the Los Osos Valley Road Scenic Corridor (see Figure 7-8) are established with the primary purpose of protecting the following: important views of scenic backdrops, background vistas and foreground areas from Los Osos Valley Road; important plant and animal habitats; and watershed resources. All applicable standards in the Coastal Zone Land Use Ordinance apply within this area (e.g., those in Chapter 23.04).

C. Highway 1 - Cayucos Critical Viewshed.

The Highway 1 - Cayucos Critical Viewshed (see Figure 7-9) is established to protect views of this scenic coastal area. All applicable standards in the Coastal Zone Land Use Ordinance apply within this area (e.g., those in Chapter 23.04). Development not exempt pursuant to CZLUO 23.04.210(a) shall be considered a conditional use.

D. Highway 1 and Los Osos Valley Road Scenic Corridors.

Highway 1 and Los Osos Valley Road as shown on Figure 7-8 in the rural portions of the Planning Area are Scenic Corridors. All applicable standards in the Coastal Zone Land Use Ordinance apply (e.g., those in Chapter 23.04).



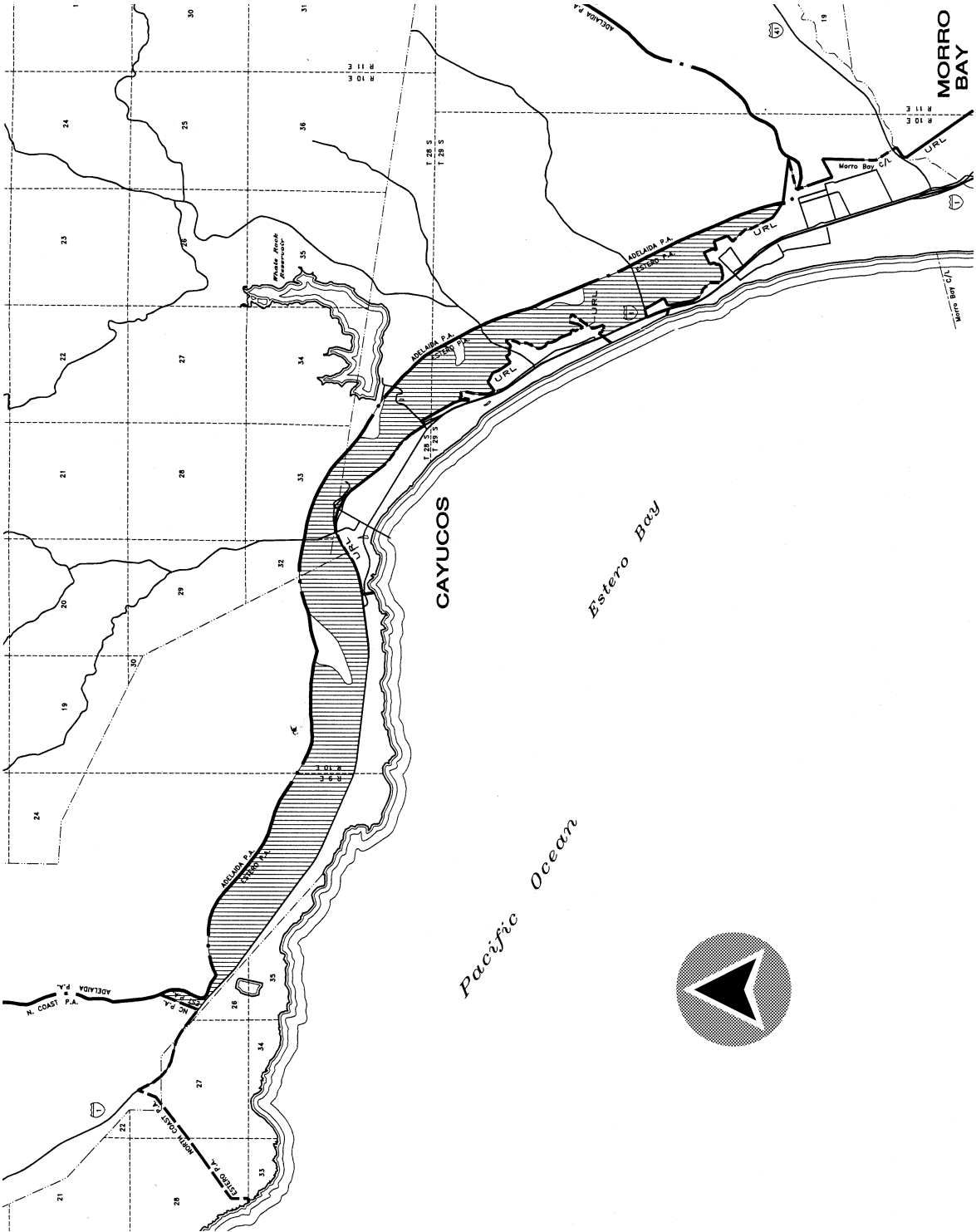


Figure 7-8: Highway 1-Cayucos Critical Viewshed

This map is for reference purposes only and doesn't depict all potentially visible areas.

COMBINING DESIGNATIONS:

The following standards apply to lands in the Geologic Study Area (GSA) and Sensitive Resource Area (SRA) combining designations located outside of urban and village reserve lines, as listed below.

A. Geologic Study Areas (GSA)

1. **Morro Bay & Cayucos Hillsides.** A geologic report prepared by a certified engineering geologist is required for hillside development adjacent to the city of Morro Bay and the Cayucos Urban Reserve Line.

B. Sensitive Resource Area (SRA).

The following standards apply to lands within the Sensitive Resource Area combining designations, including the Critical Viewsheds for the Morros area and the coastal terrace west of Cayucos as shown on the official maps on file in the Department of Planning and Building. The general location of the coastal terrace west of Cayucos is shown in Figure 7-10 for reference purposes only.

The following standards help protect important resources and implement the watershed and visual and scenic resources policies in the Local Coastal Program, and the open space policies in the Agriculture and Open Space Element, including the policies for scenic corridors. The following standards are in addition to any applicable standards in the Coastal Zone Land Use Ordinance; for example, the scenic protection standards in Chapter 23.04 and the standards for Environmentally Sensitive Habitats in Chapter 23.07. Chapter 6 of this plan further discusses the public interests served by these SRA designations and generally describes the geographic areas in which they apply.

1. **Morros Area SRA and Critical Viewshed.** The Morros Area SRA and Critical Viewshed is established with the primary purpose of protecting the following: important views from Highway 1, Los Osos Valley Road, Turri Road, and South Bay Blvd.; natural landmarks and scenic backdrops; locations of important plant and animal habitats; and watershed resources. The following standards apply within this area, in addition to all other applicable standards in the Coastal Zone Land Use Ordinance (e.g., those in Chapter 23.04).
 - a. **Application Content.** A biological report prepared by a qualified professional (unless the Environmental Coordinator determines that the report is unnecessary) shall be submitted with an application for a land use permit or land division that is subject to the scenic protection standards in Chapter 23.04 of the Coastal Zone Land Use Ordinance. The report shall recommend measures to avoid, and if not possible, to mitigate impacts to biological resources.
 - b. **Cluster Requirement - Residential Land Divisions.** Residential land divisions that are subject to the scenic protection standards in Chapter 23.04 of the Coastal Zone Land Use Ordinance shall cluster or concentrate development

in accordance with Section IIIA of the Areawide standards in this plan in order to protect the scenic and other features identified in this standard.

- 2. **Coastal Terrace SRA and Critical Viewshed West of Cayucos** The Coastal Terrace SRA and Critical Viewshed west of Cayucos is established on the coastal terrace south of Highway One that extends from the Cayucos urban reserve line westward to the planning area boundary. The purpose of this SRA and Critical Viewshed is to protect views of this scenic coastal area as seen from Highway 1, public beaches and the ocean, and to protect sensitive plants. The following standard applies within the portion of this area shown in Figure 7-10, in addition to all other applicable standards in the Coastal Zone Land Use Ordinance (e.g., those in Chapter 23.04).
 - a. **Application Content** A biological report prepared by a qualified professional (unless the Environmental Coordinator determines that the report is unnecessary) shall be submitted with an application for a land use permit or land division. The report shall include identification of sensitive plants on the site, sensitive areas due to the presence of marine mammals,—and recommendations to avoid,—and if not possible, to mitigate any adverse-effects on sensitive plants—and marine mammals.

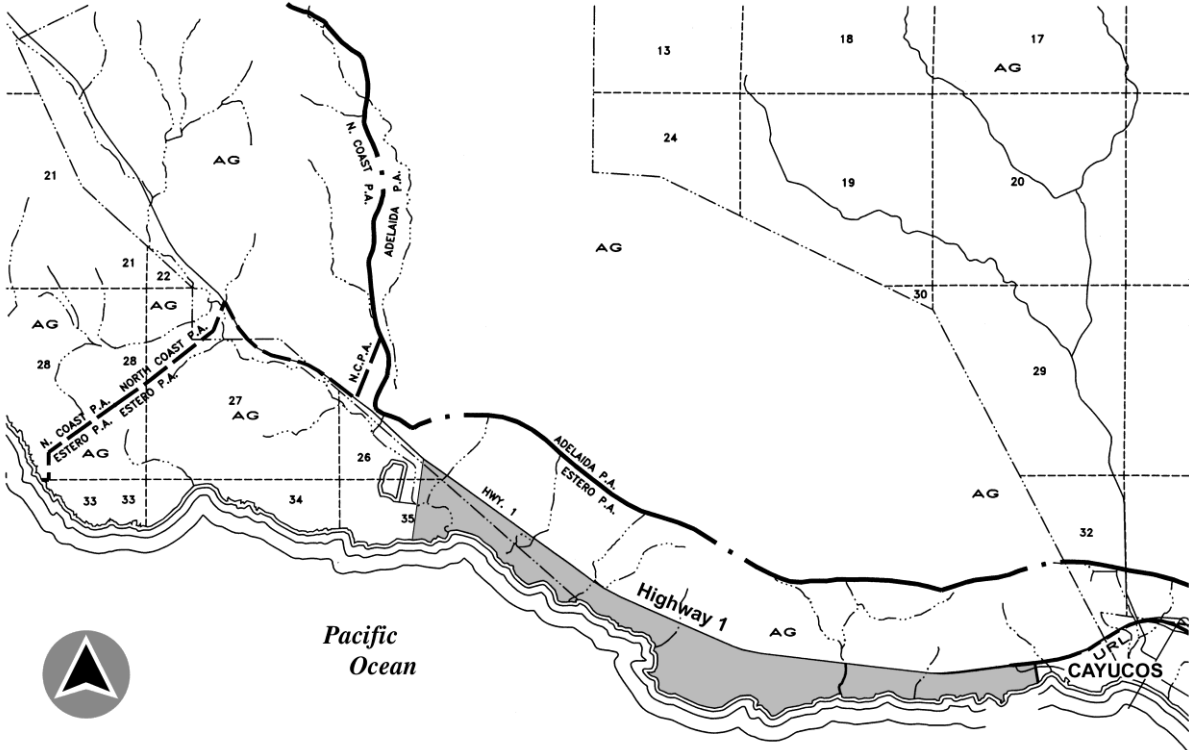


Figure 7-9: Portion of Coastal Terrace SRA and Critical Viewshed West of Cayucos (for reference only—not the official map)

- 3. **Los Osos Dune Sands Habitat (SRA).** In order to ensure the long-term preservation of the rare and sensitive Los Osos Dune Sands habitat in the rural

areas (an Environmentally Sensitive Habitat), new development within this SRA shall comply with the following standards:

- a. **Habitat Conservation Standards.** These provisions are intended to ensure the long-term preservation of the rare and sensitive Los Osos Dune Sands habitat (much of which is an Environmentally Sensitive Habitat), recognizing that habitat in the "Los Osos Dune Sands SRA-TH" area is of relative high quality compared to that on smaller, isolated, undeveloped lots.
- b. **Los Osos Dune Sands Habitat (SRA).** The following provisions are intended to ensure the long-term preservation of the rare and sensitive Los Osos Dune Sands habitat (which is an Environmentally Sensitive Habitat). Such habitat is of relative high quality compared to that on smaller, isolated, undeveloped lots. Following are the specific objectives:
 - Preserve, maintain, and protect rare and specific endangered species;
 - Preserve, maintain, and enhance the following environmentally sensitive areas: 1) Los Osos Dune Sands habitat, and 2) natural land forms that are barren or covered with non-native plants and that are potentially restorable to native plant cover such as Morro manzanita and Indian Knob mountainbalm;
 - Eliminate any incentives for the illegal or inappropriate removal of Dune Sands habitat;
 - Ensure that all new development is compatible with and sensitive to Los Osos Dune Sands habitat;
 - Subordinate all public and private development to the protection of critical natural areas

Los Osos Dune Sands Development Standards. The following standards apply to new development within the areas designated "Los Osos Dune Sands SRA-TH" except where the Planning Director determines that the proposed activity is otherwise sufficiently minor that no adverse effects on habitat can result. Within this area, the highest conservation priority is avoiding disturbance of sensitive Los Osos Dunes habitat.

- (1) **Required Findings.** Approval of a land use permit shall not occur unless the review authority first finds that, in addition to the required findings for Environmentally Sensitive Habitats specified in Chapter 23.7 of the Coastal Zone Land Use Ordinance, the project incorporates all feasible and reasonable means of maintaining Los Osos Dune Sands habitats.
- (2) **Resource Maintenance and Restoration Plan and Biological Survey.** Land use permit applications shall include a resource maintenance and restoration plan and biological survey prepared by a qualified biologist approved by the Environmental Coordinator. The recommendations of

this plan and survey shall be incorporated into the project design and conditions at the discretion of the Planning Director.

- i. Required contents. The resource maintenance and restoration plan and biological survey shall recommend design, construction, restoration/ enhancement, maintenance, and monitoring measures for the entire site, as applicable, to achieve the preceding specified purposes of the Los Osos Dune Sands SRA.
 - ii. Survey methodology. Biological survey methodology shall at a minimum comply with California Department of Fish and Game and U.S. Fish and Wildlife Service guidelines.
 - iii. Monitoring. The monitoring measures recommended in the resource maintenance and restoration plan may include frequent monitoring during and soon after the completion of initial habitat restoration and/or enhancement activities, and less frequent monitoring after plants are well-established.
 - iv. Referrals. The resource maintenance and restoration plan and biological survey shall be referred for review and comment to the California Department of Fish and Game, and the California Coastal Commission if requested by the Coastal Commission. The Planning Director may require that the plan be revised to include any additional project modifications recommended by these agencies as being necessary to reduce impacts to sensitive habitat.
- (3) Landscaping Plan. A landscaping plan in accordance with Chapter 23.04 of the Coastal Zone Land Use Ordinance shall be required where development will disturb existing or potential native dune plant habitat. The landscaping plan shall include restoration planting on the site, including areas to be permanently protected, as recommended by the required resource maintenance and restoration plan. Invasive, non-native plants, including Pampas grass, Acacia, Genista, and non-native iceplants, pose a threat to the indigenous plant community and shall not be approved as part of proposed landscaping. The use of other non-native plants shall be limited to the outdoor living space immediately adjacent to the proposed development (i.e., within the defined building envelope) and shall not be used within a conservation easement or other area to be set aside for permanent protection.
- (4) Conservation Instruments. If proposed development will disturb sensitive habitat supporting or potentially supporting Morro manzanita, Indian Knob mountainbalm, or other rare or endangered species, as determined by the required resource management and restoration plan and biological survey, all portions of the property beyond the maximum area of site disturbance specified in this standard shall be permanently protected by agreements, easement controls, or

other appropriate instrument, consistent with applicable legal requirements to allow reasonable use of the site.

- (5) Long-term maintenance and monitoring. When areas to be permanently protected through conservation instruments are to remain in private ownership, the owner shall enter into a long-term maintenance and monitoring agreement with the county prior to issuance of building permits. The agreement and any easement shall provide for, but not be limited to, all of the following.
 - i. The ongoing maintenance of remaining Los Osos Dune Sands habitat in a natural state.
 - ii. The restoration of native plants, as recommended by the approved resource maintenance and restoration plan, and as shown in the approved landscape plan.
 - iii. The long-term monitoring of rare and endangered plants and the maintenance of supporting habitat, as recommended by the approved resource maintenance and restoration plan.
 - iv. Requirements for financial security, including guarantees to cover the cost of:
 1. The proper completion of restoration measures (for example, plant installation and the eradication of non-native species) within a specified time; and
 2. The proper maintenance of restored and undisturbed areas over a specified time (for example, five years), and the monitoring of those efforts.

These requirements may also include penalty provisions such as extensions of the monitoring period, in addition to the forfeit of funds provided, in response to a failure to perform as agreed.

- (6) Site Disturbance. This standard is intended to provide maximum preservation of Los Osos Dune Sands and its associated habitat of rare and endangered species. New development causing site disturbance shall ensure protection of habitat for Morro manzanita, Indian Knob mountainbalm, or any other rare or endangered species determined to be present on the site. However, limitations on the amount of site disturbance shall be consistent with applicable legal requirements to allow reasonable use of the site.

Site disturbance includes disturbance of the following areas: areas disturbed by structures, roads, utility trenching, and pavement; areas on which grading or removal of native vegetation occurs. Site disturbance does not include activities that are consistent with the restoration and maintenance of native plant habitats as guaranteed by project approval.

- (7) Resource Protection During Construction. Habitat containing Morro manzanita, Indian Knob mountainbalm, and other rare and endangered species shall be protected from disturbance by construction activities. Temporary wire mesh fencing shall be placed around such habitat prior to construction, and protected areas shall not be used by workers or for the storage of machinery or materials.
- (8) Permanent Fencing. Permanent fencing shall be restricted to that which will not impact the free passage of native wildlife, and shall employ design and materials determined by the review authority to be compatible with the open space character of the Los Osos Dune Sands habitats.
- (9) Utilities. Where feasible, utility connections shall be installed in a single corridor, and shall avoid surface disturbance of conservation easements or other areas to be set aside for permanent protection of sensitive habitat.
- (10) Destroyed Structures. Where a dwelling has been destroyed pursuant to Coastal Zone Land Use Ordinance Section 23.09.033a, it may be restored or a new dwelling rebuilt within the existing footprint without having to comply with the preceding Los Osos Dune Sands Habitat standards b(1) – b(9). ("Los Osos Dune Sands Development Standards")

AGRICULTURE:

The following standards apply to lands in the Agriculture land use category located outside the urban and village reserve lines.

A. Limitation on Use.

The following standard applies only to lands that are defined by the Agriculture and Open Space Element as Row Crop Terrain and Soils. The intent of this standard is to limit uses to those that are most directly related to agricultural production on lands that support the most intensive farming operations.

- 1. Allowable uses are limited to: agricultural accessory structures; animal raising and keeping; crop production and grazing; cannabis cultivation, nursery specialties soil dependent; cannabis nurseries, coastal accessways; farm support quarters; home occupations; mobilehomes; residential accessory uses; single family dwellings consistent with the protection of agriculture; temporary dwelling; water wells and impoundments; pipelines and transmission lines; public utility facilities.

[Amended 2018, Ord 3357]

B. Morro Groundwater Basin

The following standard shall apply within the Morro groundwater basin as shown in Figure 7-4.

1. **Water Management Plan Implementation Project.** Siting of water management implementation programs and facilities shall not be precluded.

C. Estero Marine Terminal.

The following standards apply to the entire Estero Marine Terminal ownership on both the east and west sides of Highway 1, near Toro Creek Road, as shown in Figure 7-11.

1. **Storage Tanks and Related Equipment.** Any unnecessary storage tanks or related above-ground equipment shall be dismantled in accordance with the required Development Plan, and any environmentally hazardous conditions shall be corrected.
2. **Abandonment of the Marine Terminal**
 - a. **Permit Requirement.** A Development Plan shall be filed within six months from closure of the offshore components of the marine terminal.
 - b. **Application Content.** The Development Plan application shall include the following:
 - (1) A site characterization study of soil and groundwater contamination.
 - (2) A phasing plan for abandonment indicating the anticipated timetable.
 - (3) Plans for proposed decommissioning, site restoration, environmental mitigation, and reuse of existing facilities that will facilitate use of the site for uses allowable in the Agriculture category. The plans shall be coordinated with plans for new uses.
3. **Subsequent Development.** After abandonment of the marine terminal and associated facilities, all subsequent development shall be consistent with the Agriculture land use category.

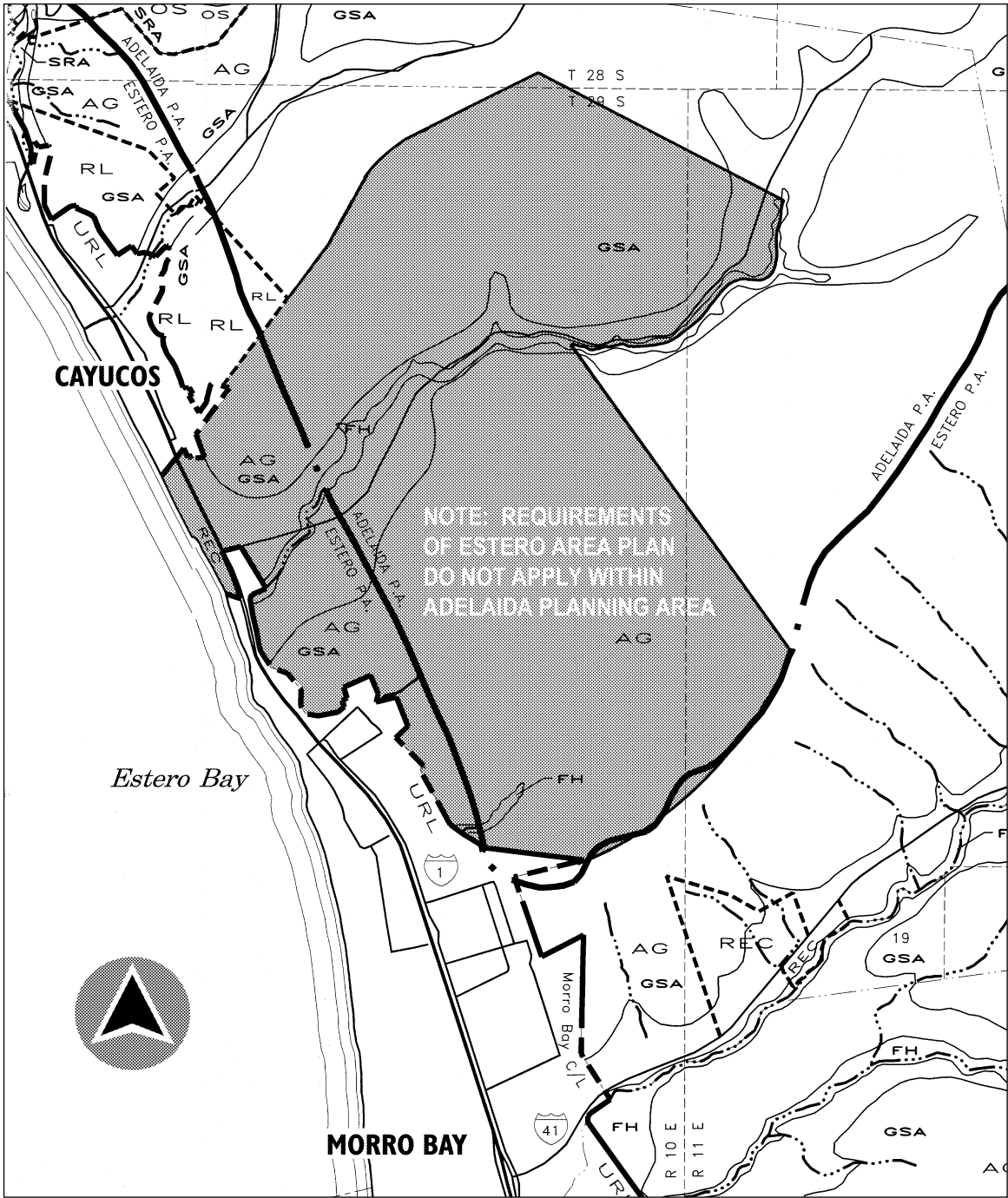


Figure 7-10: Estero Marine Terminal Ownership

D. Former Los Osos Landfill Site and Vicinity.

Consistent with Section 21090, Title 27, California Code of Regulations:

1. All proposed land uses, other than non-irrigated open space, within the landfill site shall require Minor Use Permit approval, unless Development Plan approval is otherwise required (see Figure 7-12). The application shall be referred to the Regional Water Quality Control Board and the Air Pollution Control District for review.

- All proposed structures within 1,000 feet of the landfill disposal area shall require Minor Use Permit approval, unless Development Plan approval is otherwise required, and shall comply with the requirements of Section 21190, Title 27, California Code of Regulations (see Figure 7-12).

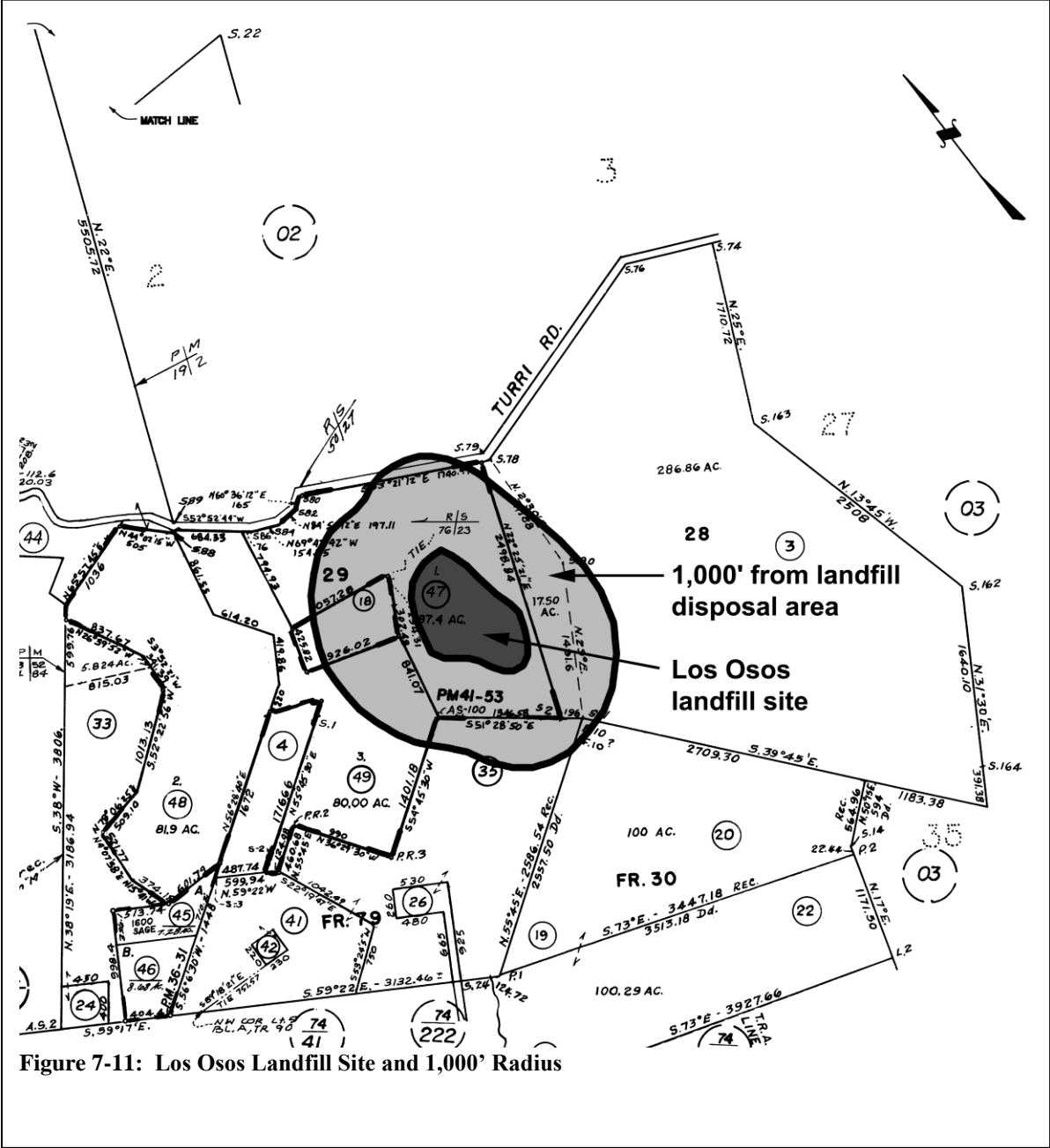


Figure 7-11: Los Osos Landfill Site and 1,000' Radius

OPEN SPACE:
 The following standards apply to all lands in the Open Space land use category located outside the urban and village reserve lines.

A. Morro Bay State Park.

1. **Limitation on Use.** Allowable uses are limited to crop production and grazing (limited to grazing and pasturing only); recreational uses in the cultural, education and recreation use group; coastal accessways; water wells and impoundments.
2. **Permit Requirement.** New development shall require Development Plan review, which shall consider potential impacts with regard to surrounding agricultural lands, streams, riparian habitat, wetlands, and traffic on South Bay Boulevard.

B. Coastal Terrace West of Cayucos.

The following standard applies to the coastal terrace west of Cayucos, as shown in Figure 7-13.

1. **Limitation on Use.** Allowable uses shall be limited to crop production and grazing (grazing only); coastal accessways; passive recreation; water wells and impoundments; pipelines and transmission lines.

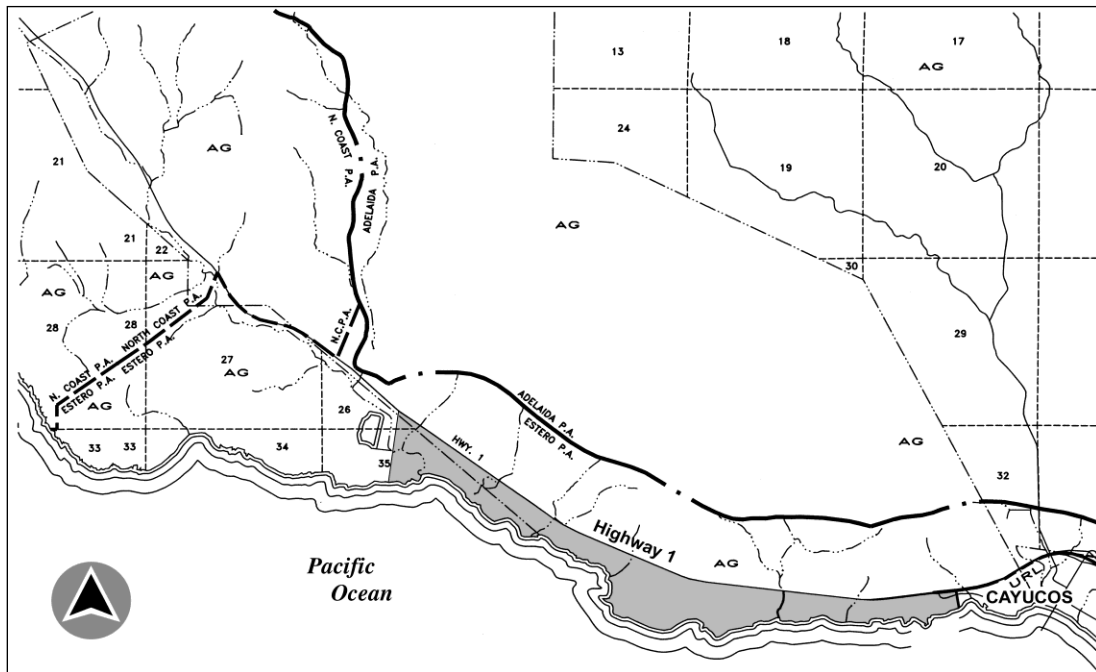


Figure 7-12: Open Space Category: Coastal Terrace West of Cayucos

RECREATION:

The following standards apply to lands in the Recreation land use category located outside the urban and village reserve lines.

A. Limitation on Use--Highway 41.

Allowable uses are limited to the existing membership organization facilities, water wells and impoundments, and the existing mobilehome park with recreational vehicle spaces.

B. Limitation on Use and Development--Moñtana de Oro State Parks.

(This is a visitor-serving priority area). Allowable uses, development of recreational facilities, and ongoing management of Montaña de Oro State Park shall be in accordance with approved Development Plan D90119D, as may be amended or superseded. Annual progress reports shall be submitted to the county as called for in the approved Development Plan. Proposed development within the jurisdiction of the California Coastal Commission is subject to Coastal Commission review and approval.

C. Seaward of Highway 1 Between the City of Morro Bay and the Cayucos Urban Reserve Line

1. **Limitation on Use.** Allowable uses shall be limited to passive recreation; pipelines and transmission lines; coastal accessways; and water wells and impoundments.

2. **Development Standards.** New development proposals are subject to the following standards:
 - a. **Geologic bluff setback.** As determined by a site stability evaluation prepared by a certified engineering geologist based upon an on-site evaluation, development shall be set back from the top edge of the bluff sufficiently to withstand bluff erosion and wave action for a period of 100 years without the need for construction of shoreline protective structures that require substantial alterations to the natural landforms along bluffs and cliffs. In any case, the minimum setback shall be, 25 feet.

 - b. **Height limit.** Development shall not exceed 14 feet in height

 - c. **Location.** Development shall be located adjacent to the existing developed area to the north, with driveway access from Studio Drive.

RESIDENTIAL SUBURBAN:

The following standards apply to land in the Residential Suburban land use category located outside the urban and village reserve lines.

A. Minimum Parcel Size--Lots Adjoining Agricultural Area North of Tapidero Avenue

Minimum parcel size for lots adjoining the Agriculture land use category north of Tapidero Avenue shall be 5 acres. New development shall assure protection of existing Agricultural areas, through means such as the use of agricultural buffers, right-to-farm restrictions, and agricultural easements as necessary.

RURAL LANDS:

The following standards apply to land in the Rural Lands land use category located outside the urban and village reserve lines.

A. 20-acre Property Near the Terminus of Clark Valley Road.

The following standard applies to the 20-acre property near the terminus of Clark Valley Road, as shown in Figure 7-14.

2. Number of Dwellings. A maximum of one dwelling unit shall be allowable.

B. 26 Acres South of Highway 41 at the Estero Planning Area Boundary.

The following standard applies to the 26 acres south of Highway 41 adjoining the Estero Planning Area boundary, as shown in Figure 7-15.

1. Residential Development. No residential development shall be allowable on this 26 acre-portion of the larger ownership.

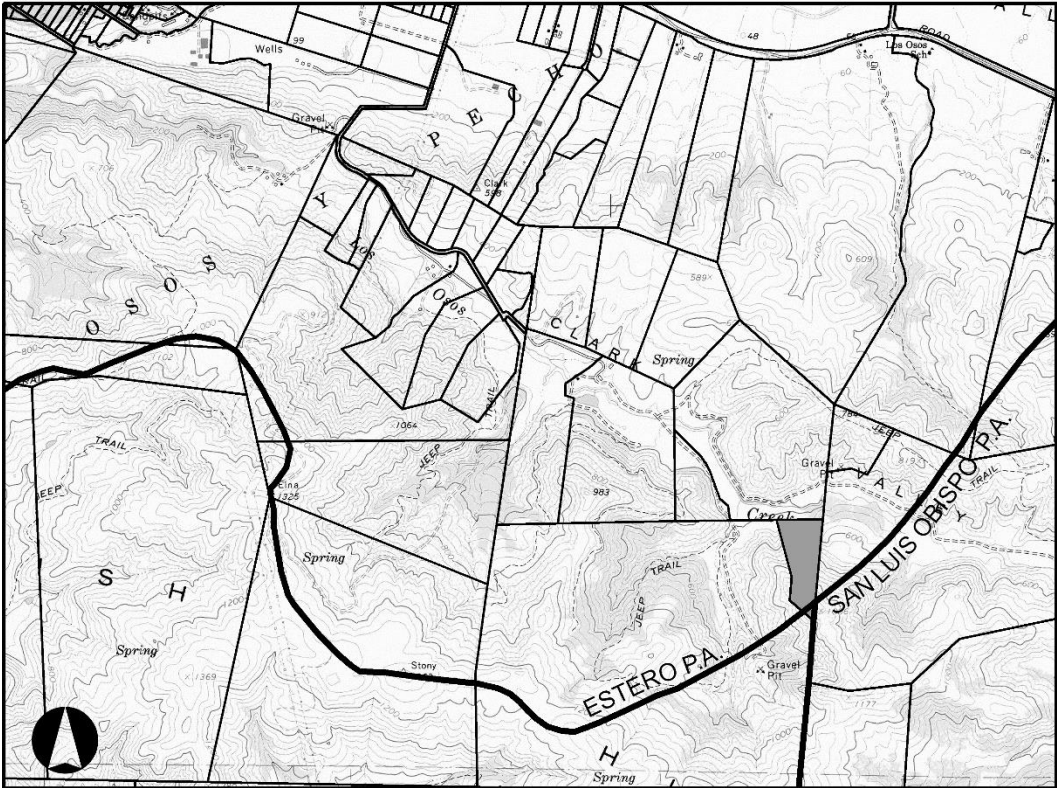


Figure 7-13: 20-Acre Property Near the Terminus of Clark Valley Road

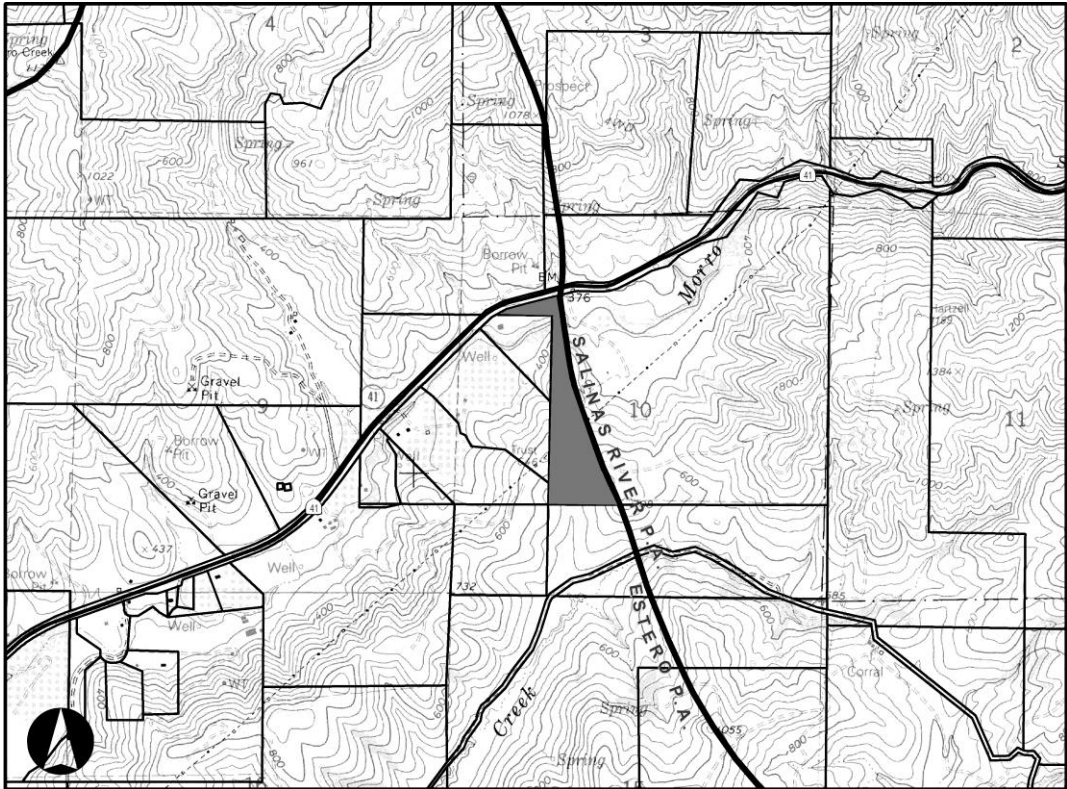


Figure 7-14: 26 Acres South of Highway 41 at the Estero Planning Area Boundary

V. CAYUCOS URBAN AREA STANDARDS

The following standards apply within the Cayucos urban reserve line to the particular land use categories or specific areas listed.

COMMUNITYWIDE:

The following standards apply to all lands within the Cayucos Urban Reserve Line unless otherwise specified for certain areas.

A. Resource Capacity and Service Availability

1. **Land Divisions: Finding.** New land divisions, other than condominium conversions, shall not be approved unless the review authority makes a finding that there are sufficient water and sewer capacities to serve development resulting from the proposed land division, existing development (at current rates of water use and occupancy), and all vacant parcels at buildout under this plan.
2. **Land Divisions and Land Use Permits: Application Content.** All applications for new land divisions and land use permits for new development shall be accompanied by letters from the applicable water purveyor and the Cayucos Sanitary District stating their intent to serve the proposed project.
3. **Building Permits: Clearance for Services.** All applications for building permit approval are to be accompanied by a letter or other verification from the Cayucos Fire Protection District, the applicable water purveyor, and the Cayucos Sanitary District indicating that the proposed project has received fire clearance and water service and sewer connection approvals.

B. Building Height.

Exceptions to height limitations pursuant to Chapter 23.04 of the Coastal Zone Land Use Ordinance shall not apply to any planning area standards that specify maximum building height or building face height.

C. Parking Lot Design--Central Business District.

The following standards are intended to facilitate a more pedestrian-friendly environment downtown as illustrated in Figure 7-16. These standards apply to publicly and privately-owned parking lots in the central business district that are defined as vehicle storage per Table O in Coastal Framework for Planning, or are accessory to another allowable principal use. The standards are in addition to the parking design standards in Chapter 23.04 of the Coastal Zone Land Use Ordinance.

1. **Parking Lot Location.** Where feasible, locate parking areas to the rear or side of buildings.

2. **Access.** Minimize the number of driveways. Where feasible, access to parking areas shall be taken from side streets, alleys, or the less busy street.
3. **Size of Parking Areas.** Wherever possible, separate the parking lot into smaller, connected areas of 20 or less cars, interrupted by planted areas and sidewalks.
4. **Pedestrian Connections.** Wherever possible, provide safe, convenient, and landscaped pedestrian connections between parking areas, walkways and businesses; and between businesses and surrounding neighborhoods.

D. Cayucos Drive Area.

The following standards apply within the Cayucos Drive Area as shown in Figure 7-17.

1. **Cayucos Elementary School Area.** This standard applies to all parcels within a 120-foot radius around the Cayucos Elementary School, as shown in Figure 7-17.
 - a. **Limitation on Uses.** In addition to any applicable limitation on uses described elsewhere in this chapter, the following uses are also not permitted: residential care consisting of drug and alcohol rehabilitation centers and halfway houses; eating and drinking places that serve alcohol; any uses within the Cannabis use group; food and beverage retail sales that serve alcohol.
[Amended 2018, Ord. 3357]
 - b. **Land Use Compatibility.** The location, type and design of new development subject to Minor Use Permit and Development Plan approval shall ensure compatibility with the Cayucos Elementary School and nearby residential development. Development proposals shall:
 - i. Minimize the number of vehicle trips.
 - ii. Assure that all manufacturing and processing operations are either conducted within an enclosed building or screened from public streets by a solid wall or fence.
 - iii. Demonstrate compliance with Noise Element policies and implementation measures, and with the air quality and other operational standards in Coastal Zone Land Use Ordinance Chapter 23.06.

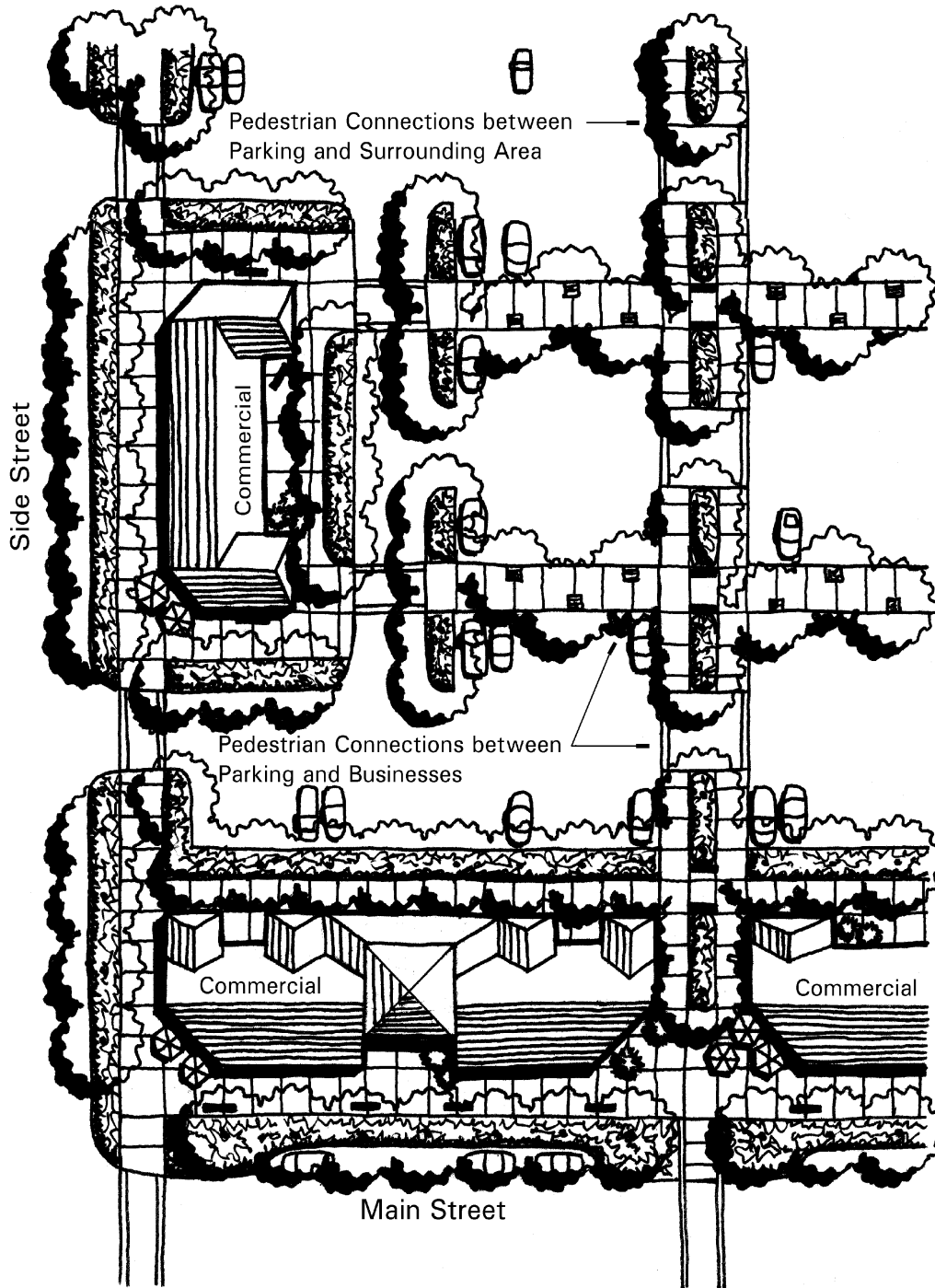


Figure 7-15: Parking Lot Design—Central Business District

2. **Office and Professional Category.** See the listing of standards under Office and Professional for additional standards within the Cayucos Drive Area.

E. West of Cayucos Creek.

The following standards apply within the area west of Cayucos Creek as shown in Figure 7-18.

1. **Circulation Improvements.** New development shall provide a Class II bikeway and pedestrian walkway adjacent to North Ocean Avenue, and improved pedestrian and bicycle access across Cayucos Creek in the following locations:
 - a. Along the frontage of the site
 - b. From the site to the east side of Cayucos Creek

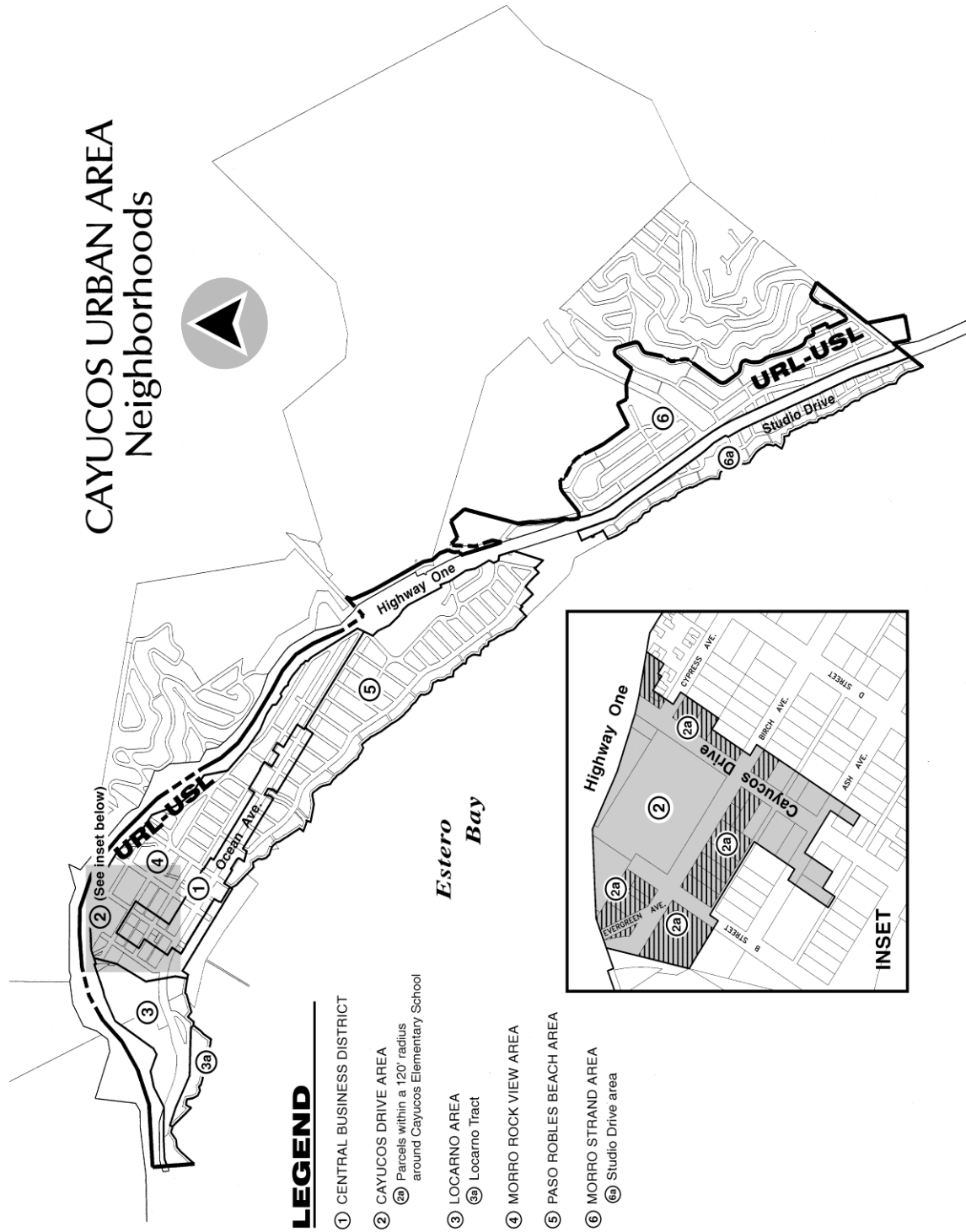


Figure 7-16: Cayucos Location Map

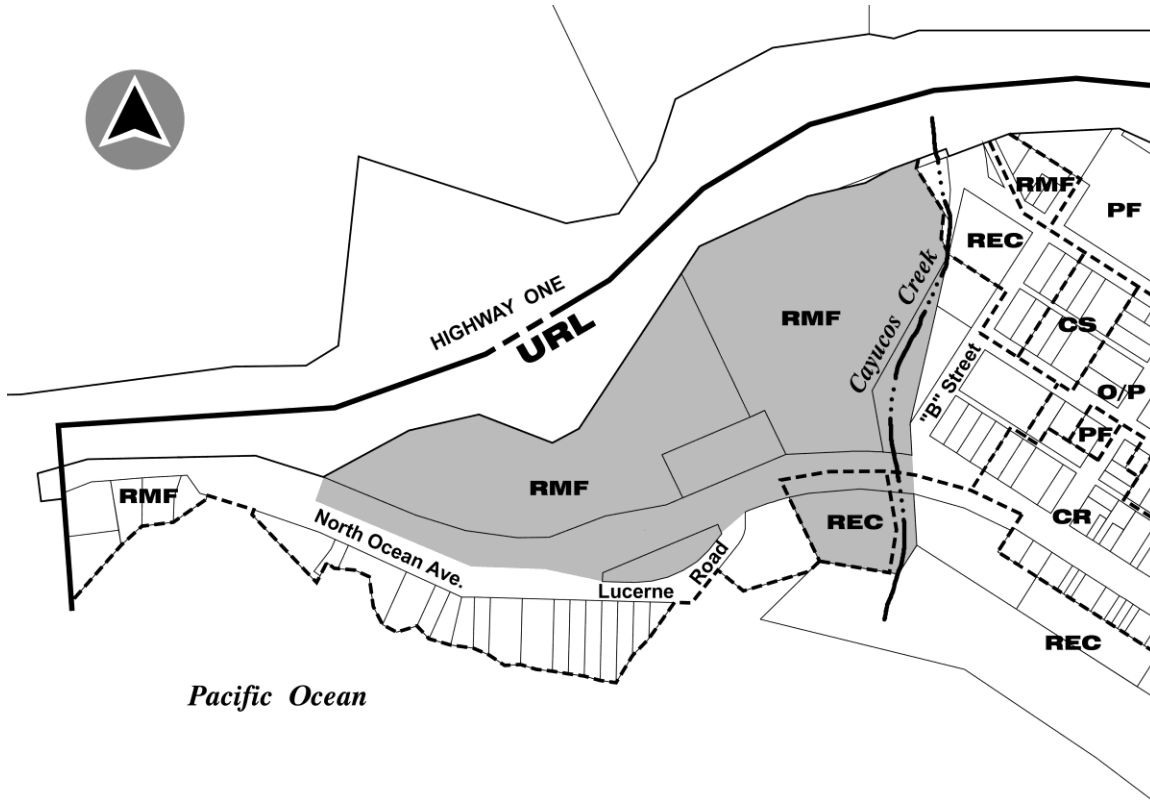


Figure 7-17: Area West of Cayucos Creek

F. Setbacks - Communitywide.

Unless specified in other Cayucos Urban Area standards, the following special setbacks in Table 7-1 apply to the respective neighborhoods shown on Figure 7-17.

- 1. Bluff Setbacks.** Bluff setbacks shall be in accordance with the Coastal Zone Land Use Ordinance, except that the minimum setback shall be 25 feet in any case.

CAYUCOS URBAN AREA STANDARDS

Table 7-1: Cayucos Urban Area Special Setbacks—Communitywide

LOCATION						MINIMUM SETBACKS (FT) ¹					
AREA	AREA-WIDE	SUB. NO.	BLOCK	LOTS	OTHER	BLUFF	FRONT	SIDE	STREET SIDE	REAR	REMARKS
BLUFF-TOP LOTS	X					25					Larger setbacks required where necessary to withstand 100 years of erosion (see Standard G1)
MORRO ROCK VIEW, MORRO STRAND AREAS	X						10	3	5	5	See below for Block 18
			18		Lots fronting on Park Ave.		0	3	5	5	
STUDIO DRIVE AREA (See “Bluff-top lots” where applicable)					West of Studio Dr.		0	3			
					East of Studio Dr.		10	3			
PASO ROBLES BEACH AREA (See “Bluff-top Lots” where applicable)	X						15	3	5	10	See below for Sub. Nos. 1, 3
					Lots along west side of Pacific Ave.		0				
					Lots along east side of Pacific Ave.		10				
		3	16	1-3			5				Setback from 23 rd , 24 th Streets
		1	5	2			5				
		1	20	1			10				
PASO ROBLES BEACH AREA (see “Bluff-top Lots” where applicable)		3	10	All			10				
		3	14	All							
		3	15	1-7							
		3	15	12-19							
		3	16	1-4							
		1	5	1	North side			5			West side: bluff
		1	5	2	East side						
		2	6	19	East side			10			
		2	9	1	East side						
					West side Pacific East side Pacific				0 10		
	1	5	2							3	
	3	16	1								
	3	12	11,12							5	
	3	13	11,12								
	3	15	8-11								
	3	16	1-4								
	1	5	1							15	

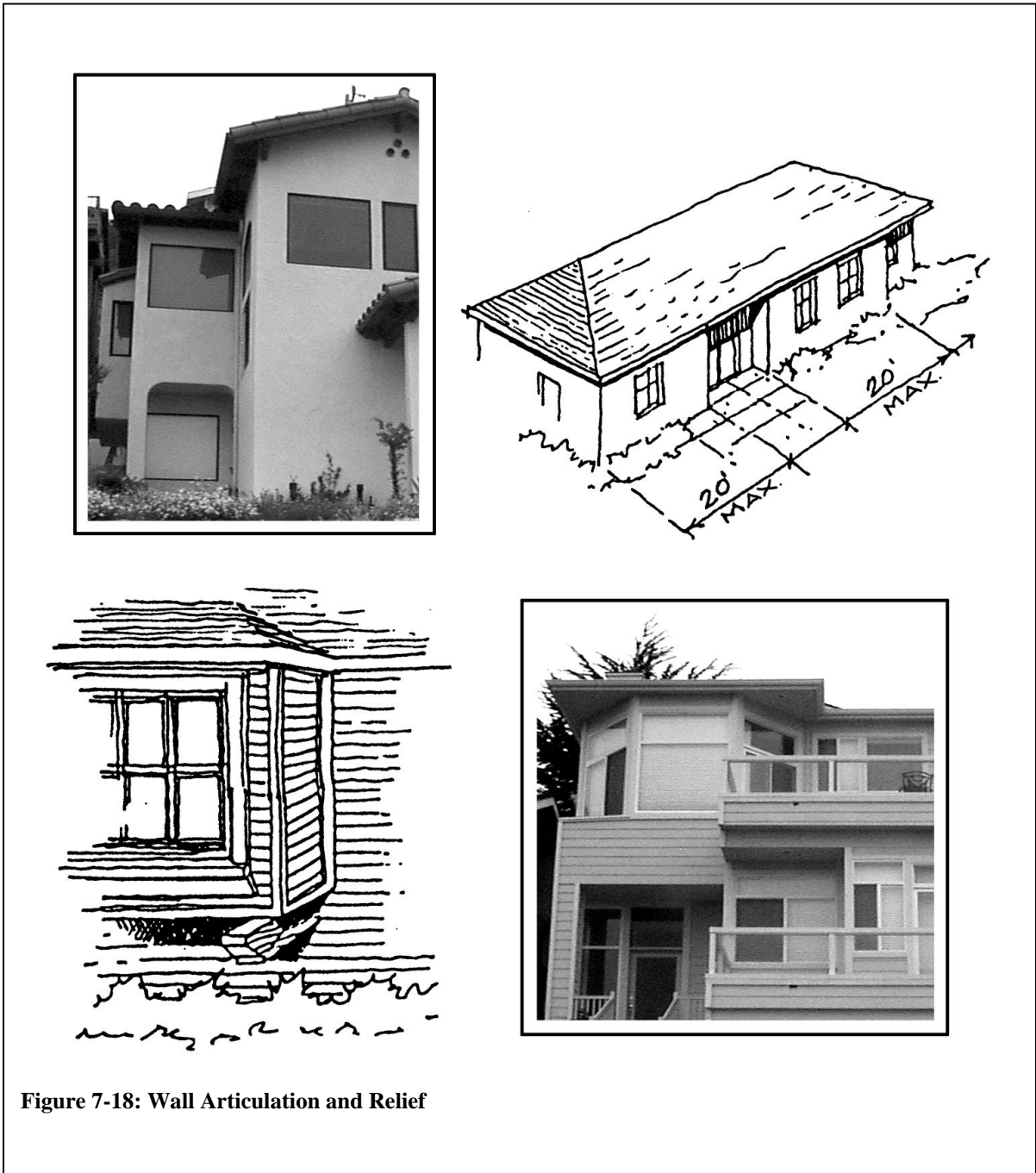
¹ Where no setback is listed, it shall be determined by applicable sections of the Coastal Zone Land Use Ordinance

Residential Design Guidelines Outside of Community Small-Scale Design Neighborhoods: Wall Articulation and Relief.

The following guidelines apply to all new residential development outside of Community Small-scale Design Neighborhoods in order to create visual relief and interest.

- *Avoid long, uninterrupted exterior walls on all structures*
- *Provide detail and articulation on all sides of residences through measures such as:*
 - *Using relief elements and changes in plane*
 - *Off-setting the wall plane to express interior spaces and provide outdoor spaces*
 - *Creating an interesting blend of shadows, in-sets, varied materials and textures*
 - *Using design measures and elements such as the following: wall bays with relief at least every 20 feet; pop-out, bay windows; in-set windows; window trim; trellises; arcades or verandas; changes in materials*

See Figure 7-18 for examples of wall articulation and relief



COMBINING DESIGNATIONS:

The following standards apply to lands in the Geologic Study Area (GSA), Local Coastal Plan (LCP) and Sensitive Resource Area (SRA) combining designations located within the Cayucos Urban Reserve Line, as listed below.

A. Geologic Study Areas (GSA)

1. **Morro Bay & Cayucos Hillsides.** A geologic report prepared by a certified engineering geologist is required for hillside development proposals.
2. **Seawalls**
 - a. **Design and Appearance.** New seawalls and seawall replacements shall be constructed using materials that minimize required maintenance and blend in with the surrounding natural environment.
 - b. **Location.** New seawalls and seawall replacements shall be located entirely on private property, shall minimize beach area footprint, and shall not cause adverse impacts to sensitive habitat.

Guideline: Proposed seawalls should include undulating irregular forms, rock and rock-like concrete, compatible colors, and planting; discourage straight lines and harsh, smooth surfaces

B. Local Coastal Plan (LCP)

1. **Vehicular Use of Accessways.** New development shall not use beach accessways for vehicular access.
2. **Lateral Access Requirement.** New development located between the sea and the first public road shall be required to make an offer of dedication of lateral access extending from the toe of the bluff to mean high tide, or where applicable, to the inland boundary of the public beach.

C. Sensitive Resource Area (SRA)

1. **Setbacks - Coastal Streams.** Development shall be setback from coastal streams as shown in Table 7-2. Riparian setbacks shall be measured from the upland edge of riparian vegetation or the top of stream bank where no riparian vegetation exists.

Table 7-2: Coastal Stream Setbacks

COASTAL STREAM	SETBACK (FEET) ¹
Cayucos Creek	25
Little Cayucos Creek	20
Old Creek	50
Willow Creek, inland of Ocean Blvd.	20
Willow Creek, seaward of Highway 1, in Tract 1078	50, no residential development within floodplain
1 Required setbacks may be adjusted per Chapter 7, Coastal Zone Land Use Ordinance, except adjacent to Willow Creek, west of Highway 1 in Tract 1078	

COMMERCIAL RETAIL:

The following standards apply only to lands within the Commercial Retail land use categories.

A. Architectural Character.

New development shall include a detailed facade plan which reflects Western, Victorian or Nautical/Seaside architecture. The facade plan shall show articulation of building facades to create relief and visual interest by using architectural elements, such as 50% wood or wood-appearing materials; detailed window trims and moldings; second-story railings and balconies; wooden porches, railings, entryways, walkways, etc. Examples of architectural elements are shown in Figures 7-19 and 7-20.

B. Building Height.

Maximum building height shall be 30 feet, except as otherwise required in the central business district (see the following standard C).

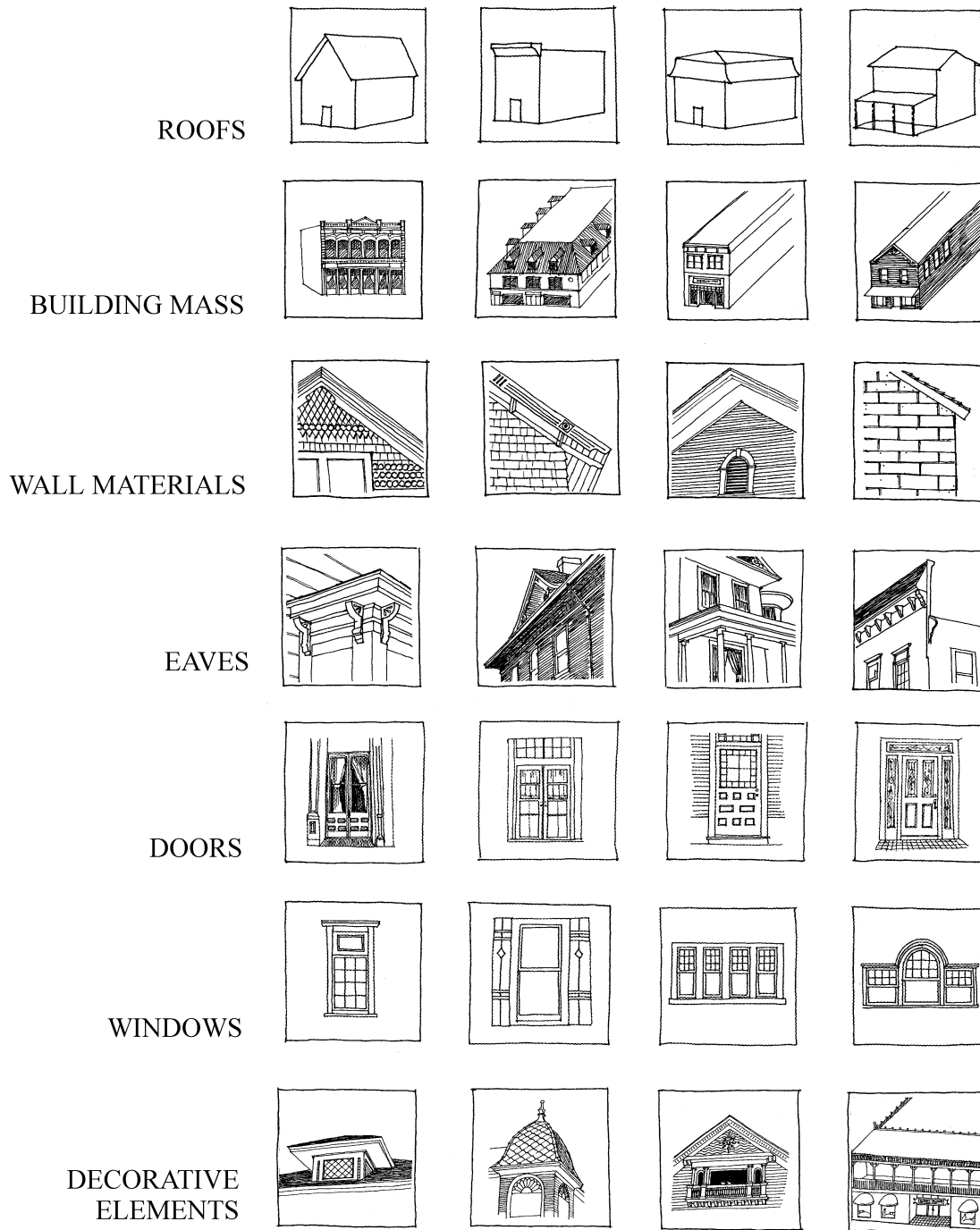


Figure 7-19: Examples of Victorian Architectural Elements

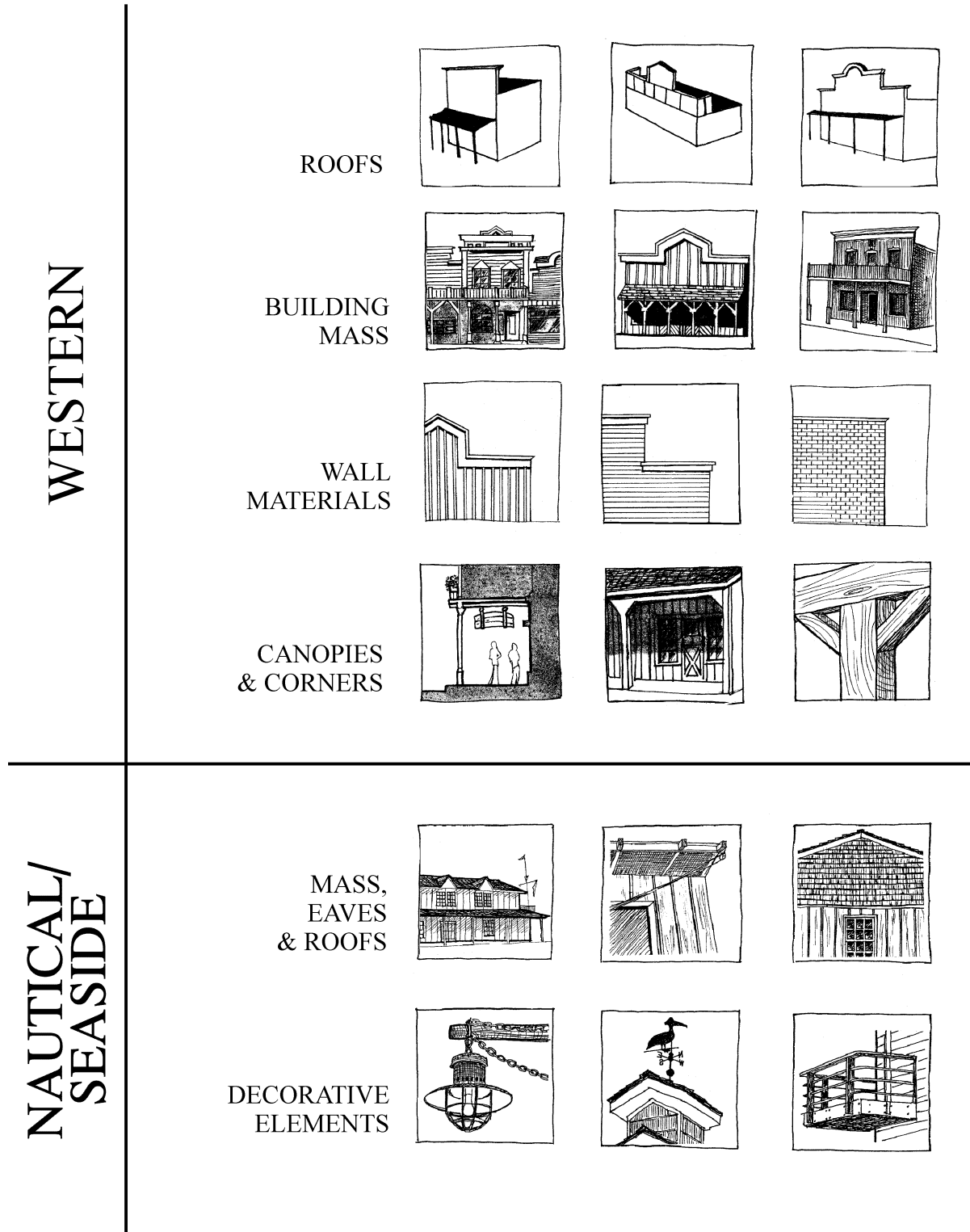


Figure 7-20: Examples of Western and Nautical Architectural Elements

C. Central Business District.

The following standards apply within the central business district as shown in Figure 7-17.

1. **Building Location.** In order to create a pedestrian-friendly environment, locate the front facades of new buildings adjacent to the street or other public spaces such as internal plazas.
2. **Pedestrian Connections.** Wherever possible, provide safe, convenient and landscaped pedestrian connections between parking areas, walkways and businesses; and between businesses, recreation areas, and surrounding neighborhoods.
3. **Building Height, Properties With No Frontage on Ocean Avenue.** Maximum building height for properties that do not have any frontage on Ocean Avenue shall be 28 feet.
4. **Building Height, Mass, Scale, and Pedestrian Orientation, Ocean Avenue.** The following standards are intended to reduce the visual massing of buildings in the central business district, while allowing a wide range of two-story building designs. The following standards apply only to properties having frontage on Ocean Avenue, as illustrated in Figure 7-23.
 - a. **Measurement of Height.** Building and plate heights shall be measured from the center line of Ocean Avenue, at a point midway between the two side property lines projected to the street center line, to the highest point of the structure. However, on lots having an average natural grade less than the Ocean Avenue center line elevation--as measured above--building and plate heights shall be measured from the average natural grade of the lot to the highest point of the structure.
 - b. **Building Height.** All proposed development, including additions and building replacement, shall meet all of the following:
 - i. Buildings shall be no more than two stories, not to exceed 28 feet in height. Basements, parking areas and building floors that are six feet or more below street level and that have a finished floor not more than four feet above street level do not count as a storey.
 - ii. Maximum plate height shall be 24 feet. Above that height, only pitched roofs or decorative elements are allowable.
 - iii. No wall facing a public street shall be greater than 24 feet above finished grade. No other wall shall be greater than 28 feet above finished grade.
 - c. **Exceptions.** No exceptions to height limitations pursuant to Chapter 23.04 of the Coastal Zone Land Use Ordinance shall be allowed.

Guidelines:

CAYUCOS URBAN AREA STANDARDS

- *Reduce building mass as seen from streets by designing the building to appear as several smaller structures where possible, rather than one larger one. This can be accomplished by varying the appearance of the building facade every 20 to 30 feet.*
 - *Place store entrances/display windows at frequent intervals such as 25 feet in order to maintain visual interest for pedestrians.*
 - *Use transparent glass windows or doors that together comprise more than 50 percent of the entry facade at ground level in order to allow pedestrians to see inside.*
 - *Where feasible, use shared driveways or an alley to gain access to uses that front on North and South Ocean Avenues.*
5. **Projections into Front Right-of-Way.** Awnings, trellises, and other accessory building structures that are relatively open and do not restrict pedestrian or vehicular movement may project into the front right-of-way, subject to an encroachment permit from the County Public Works Department. Decorative structures or architectural elements may project from upper floors into the front right-of-way, provided that they are not designed to be occupied by persons, and the space between the sidewalk and the first floor building face is open and usable to the general public (see Figure 7-21).

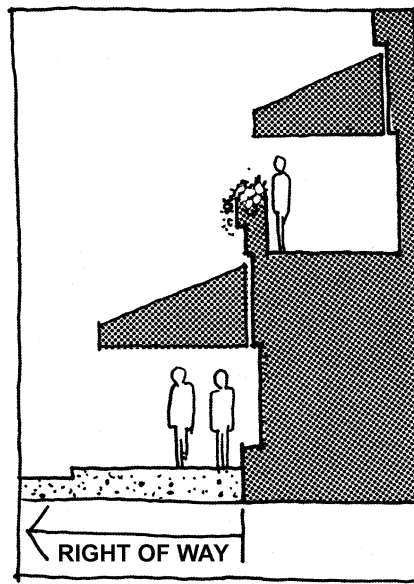
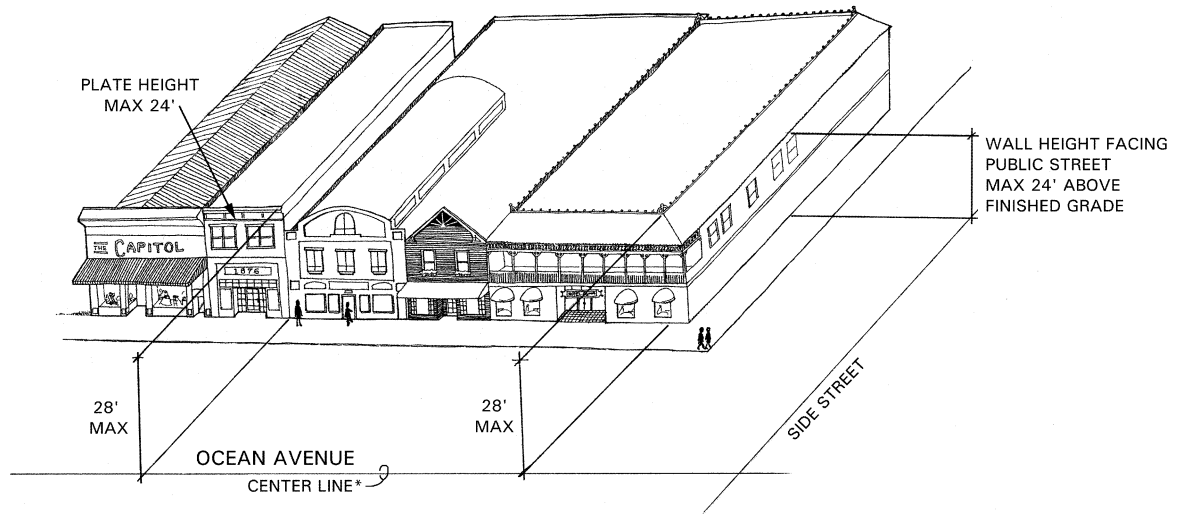


Figure 7-21: Projections Into Right-of-Way



*BUILDING HEIGHT ON DOWNHILL LOTS IS MEASURED FROM AVERAGE NATURAL GRADE---REFER TO PLANNING AREA STANDARDS

Figure 7-22: Building Height, Mass and Scale on Ocean Avenue in Central Business District

6. Mixed-Use Development.

The following standards are intended to encourage provision of a mixture of residential and non-residential uses on the same site in appropriate locations, consistent with the intent of this visitor-serving priority area. Such mixed-use development can increase opportunities for development of affordable housing. Development of non-visitor-serving uses in accordance with these standards will not prejudice the provision of adequate visitor-serving facilities to meet the foreseeable demand during the horizon of this plan. Residential development shall be subject to the standards in Chapter 23.08 of the Coastal Zone Land Use Ordinance--Residential uses in Office and Professional or Commercial categories--except that where those standards conflict with the following standards, the following standards shall prevail.

- a. Findings Required. Before approving an application for a mixed-use development, the review authority shall make the following findings, in addition to those required by Chapter 23.08 of the Coastal Zone Land Use Ordinance:
 - 1. Mixed-use development will not remove or convert existing lower-cost visitor-serving or recreational facilities unless replaced by a facility offering comparable opportunities.
 - 2. Mixed-use development will not adversely affect parking and access for existing or future visitor-serving and recreational uses. In particular, new residential uses will not diminish opportunities for parking for existing or expanded visitor serving or recreational uses on the same site. This finding may

be satisfied if new residential development is accompanied by new visitor-serving or recreational development on the same site.

- b. Secondary Use. Residential development shall be subordinate to the primary non-residential use(s) on the same site. Residential development, excluding garages, shall comprise no more than 50% of the floor area of the primary non-residential use, except that where this results in a residential floor areas of less than 1,200 square feet, the review authority may approve a greater amount of residential floor area, up to the amount of the primary non-residential use and not to exceed 1,200 square feet.
- c. Location. Residential development shall only be located on the second or upper story--above the primary non-residential use.
- d. Parking. Residential development shall have one on-site parking space per bedroom, with a minimum of two spaces per unit.
- e. Floor Area and Open Area. The maximum floor area and minimum open area requirements in Chapter 23.04 of the Coastal Zone Land Use Ordinance shall not apply. Instead, the land use permit shall require an amount of private open space and common area for privacy, recreation, light, and air that is appropriate for the nature of the project.
- f. Residential Density. Maximum residential density shall be 10 dwelling units per acre, calculated using the acreage of the entire mixed use site.
- g. Total Residential Development. The total amount of residential development, including caretaker residences, in the Commercial Retail category within the central business district shall not exceed 96 dwelling units.
- h. Caretaker Residence. Caretaker residences shall comply with preceding mixed- use standards 6b and 6c.
- i. Transient Lodging. Hotels, motels and bed and breakfast facilities shall not be converted to residential uses, and residential additions to those transient lodging uses shall not permitted, except for one manager's unit per facility.

Guideline--Ground Floor Uses

- *In order to attract customers and promote pedestrian activity, retail uses are encouraged on the ground floor fronting the street, while office, residential and other non-retail uses should be located on the upper floors or on the rear portion of the site.*

D. Ocean Blvd. South of Old Creek Road.

The following standard applies to the area in the Commercial Retail category between Ocean Blvd. And Highway One, south of Old Creek Road, as shown in Figure 7-24. This category is intended to serve primarily neighborhood commercial needs.

- 1. Limitation on Use.** Uses are limited to: nursery specialties--non-soil dependent; broadcasting studios; allowable uses in the cultural, education and recreation use group; recycling collection stations; printing and publishing; caretaker residence; home occupations; multi-family dwellings as a principal use; water wells and impoundments; eating and drinking places; food & beverage retail sales; general merchandise stores; mail order and vending; outdoor retail sales; financial services; health care services; offices; personal services; public safety facilities; consumer repair facilities; pipelines and transmission lines.

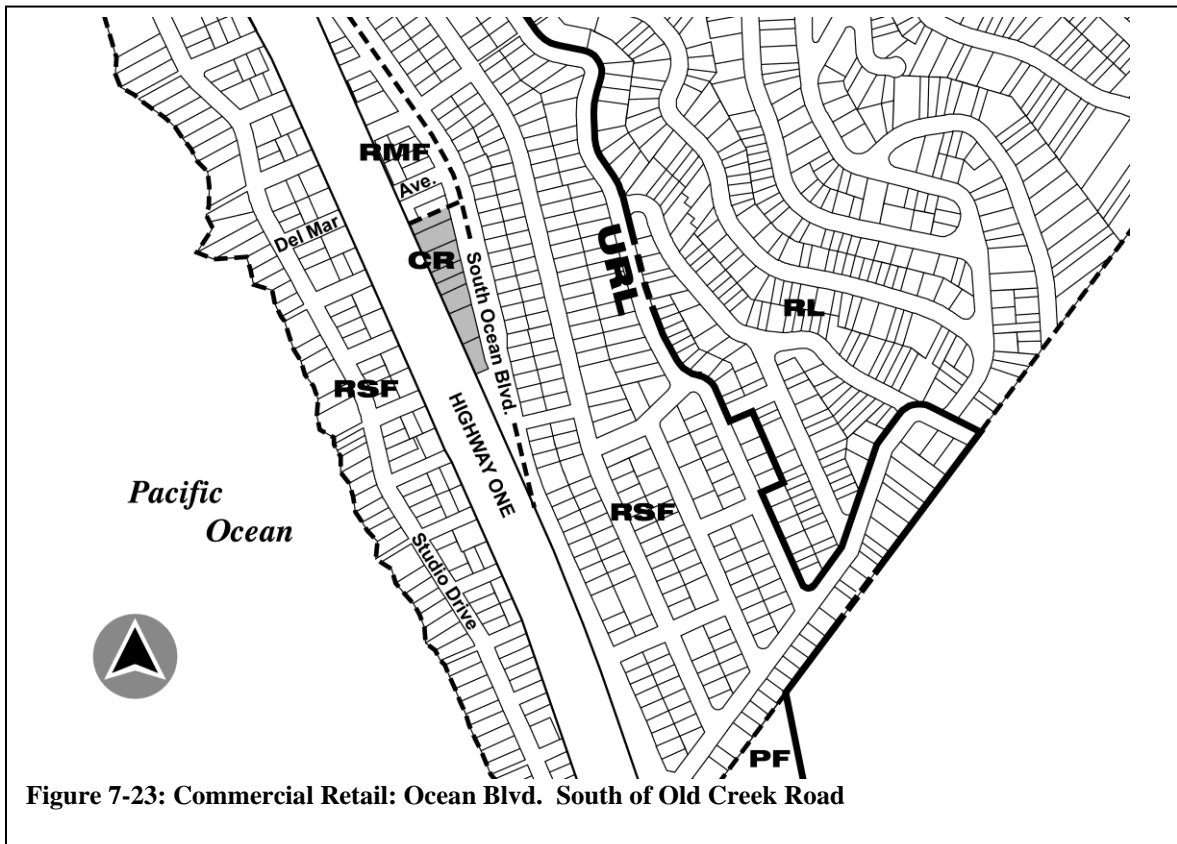


Figure 7-23: Commercial Retail: Ocean Blvd. South of Old Creek Road

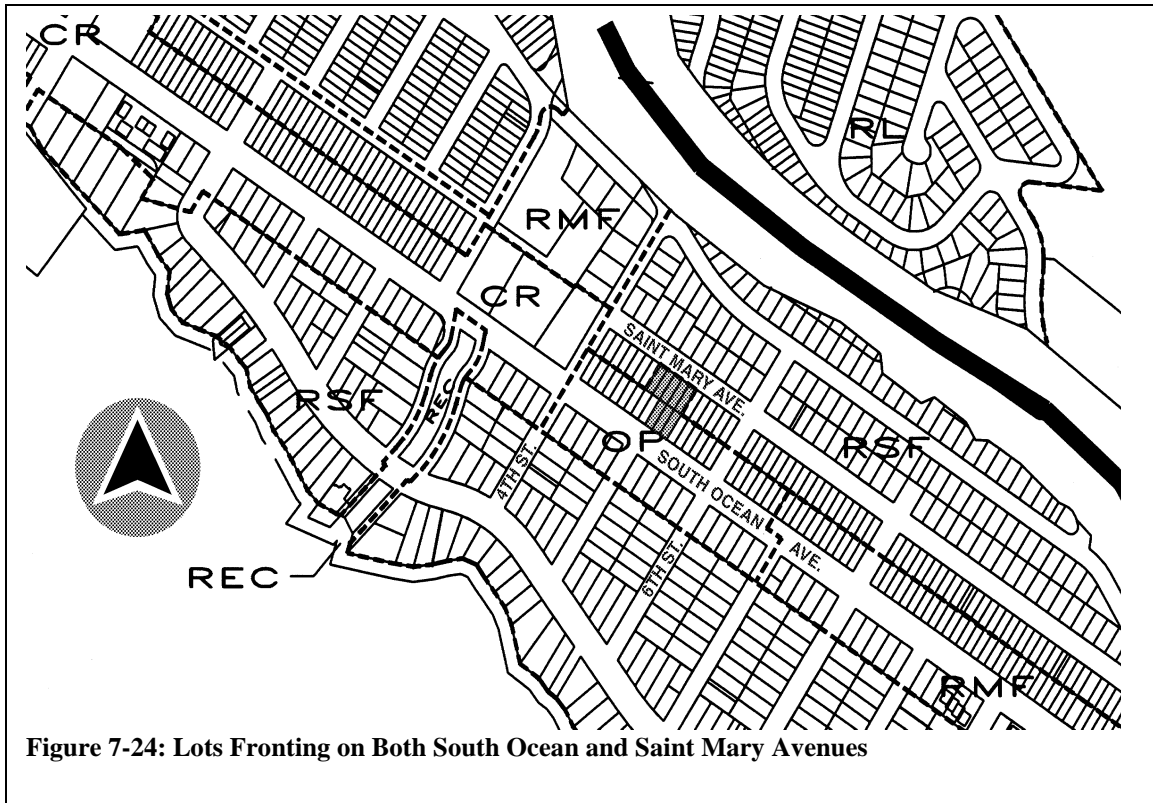


Figure 7-24: Lots Fronting on Both South Ocean and Saint Mary Avenues

A. South Ocean Avenue East of 4th Street.

The following standards apply only to the area along South Ocean Avenue east of 4th Street.

1. **Building Height, Mass, Scale, and Pedestrian Orientation.** For properties having frontage on South Ocean Avenue, all proposed development, including additions and building replacement, shall comply with the preceding Commercial Retail category standards for building height, mass, scale, and pedestrian orientation on Ocean Avenue.
2. **Mixed-Use Development.** Development of residential and non-residential uses on the same site shall be subject to all preceding mixed-use development standards and guidelines for the Commercial Retail category.

Lots fronting on both South Ocean and Saint Mary Avenues. The following standards apply only to the existing motel on Lots 10 through 12 and 25 through 29, Block 11, Morro Rock View Subdivision No. 4 (see Figure 7-24):

3. **Limitation on Use.** Allowable uses are limited to a motel and caretaker's residence.
4. **Access.** No guest access to the property is permitted from Saint Mary Avenue.
5. **Setbacks.** The building setback from Saint Mary Avenue is to be 10 feet and the side setbacks from adjacent Residential Single Family lots is to be 3 feet.

B. Cayucos Drive Area.

The following standards apply within the Office and Professional category in the Cayucos Drive area as shown in Figure 7-17.

1. **Residential Development.** Single-family dwellings on lots smaller than 6,000 square feet and multi-family dwellings on lots of 6,000 square feet and larger may be authorized as principal uses by Minor Use Permit approval and shall have a maximum density of 10 dwelling units per acre. It has been determined that approval of residential uses will not significantly reduce the community's inventory of commercial property needed to serve the population and will not impede the continuing orderly development of this area.
2. **Mixed Use Development.** Mixed use projects that combine residential uses with office or other allowable uses are encouraged. Residential development need not be subordinate to an office or non-residential use, provided that residential density complies with the preceding standard. Residential development may be detached from the building occupied by office or non-residential uses.
3. **Height.** Buildings shall not exceed a height of 28 feet above average natural grade, consistent with Coastal Zone Land Use Ordinance Chapter 23.04
4. **Setbacks--Residential Uses.** Where a residential use is the primary use of a site, minimum setbacks are as follows:
 - a. **Front Setback.**
 - 1) Where the garage entrance faces the street: a minimum of 20 feet from the garage, and a minimum of 10 feet from all areas of the dwelling unit other than the garage.
 - 2) Where the garage entrance is parallel to the street or not directly visible from the street, and there is sufficient room in the driveway to accommodate one vehicle: 10 feet.
 - b. **Side and Rear Setbacks.** As required for Residential land use categories in Coastal Zone Land Use Ordinance Chapter 23.04.
5. **Office and Commercial Development and Design.** New non-residential development shall be designed to be compatible with the residential character of the adjacent neighborhood and shall comply with the following:
 - a. **Site Design.** Driveways, parking areas and service entrances shall be designed to minimize conflicts with adjacent residential uses or categories.
 - b. **Setbacks From Residential.** The minimum setback of buildings occupied by non-residential uses from the property lines of residential buildings or land use categories shall be within the building envelope described as

follows and illustrated in Figure 7-25. Setback areas shall be landscaped per Coastal Zone Land Use Ordinance Chapter 23.04.

The minimum setback is six feet for the first 12 feet of non-residential building height. For each additional one foot of building height, the setback

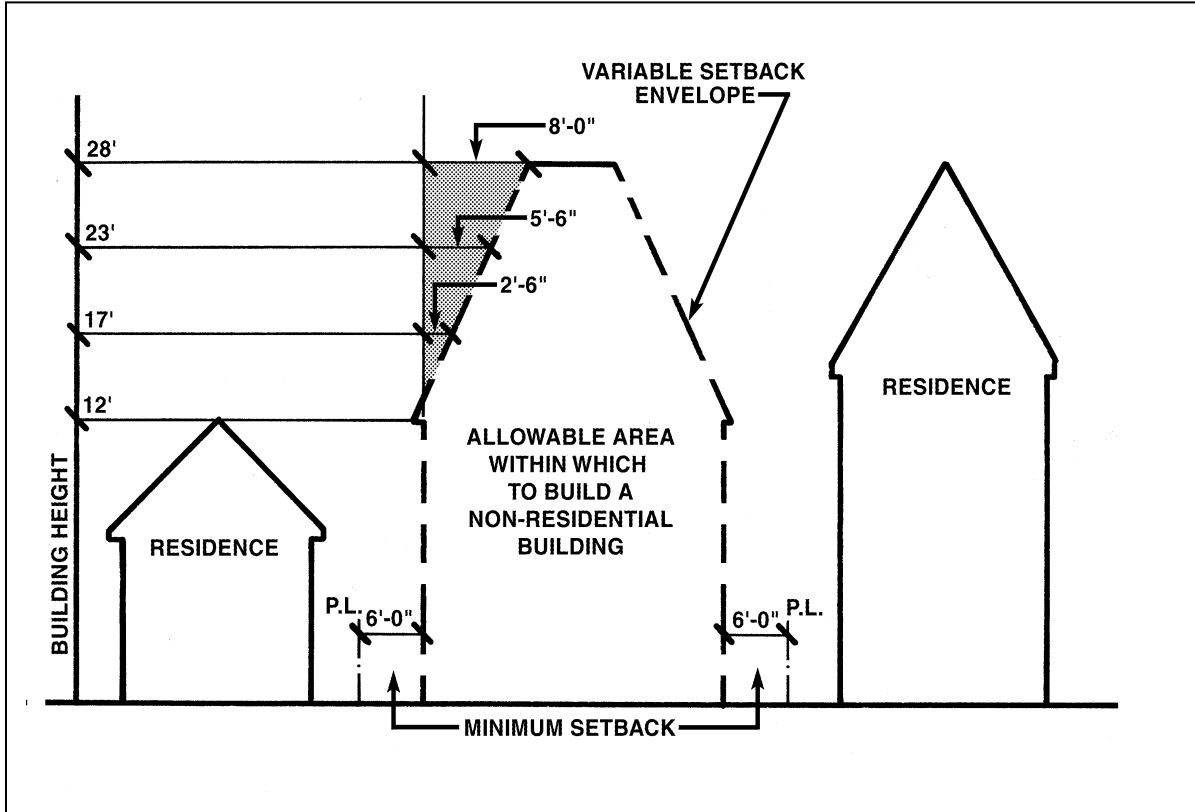


Figure 7-25: Office and Commercial Setbacks from Residential

for that portion of the building is increased by one-half foot.

RECREATION:
 The following standards apply only to lands within the Recreation land use category.

Refer also to Section III, Areawide Standards, for additional development and design standards.

A. The following standards apply to the approximately 1.8-acre property located on the south side of North Ocean Avenue, west of and adjacent to Cayucos Creek, labeled "REC" in Figure 7-30. (This is a visitor serving priority area)

- 1. Limitation on Use.** Allowable uses are limited to the following, as shown for the Recreation land use category in Table O, Coastal Framework for Planning: uses in the "Cultural, Education & Recreation" use group, excluding the

following five uses: libraries and museums, membership organization facilities, off-road vehicle courses, schools (specialized education and pre to secondary), and social service organizations eating and drinking places; general merchandise stores (limited to tourist-oriented uses such as gift shops and art galleries); bed and breakfast facilities; hotels, motels; and pipelines and transmission lines.

2. **Site Design Criteria – Public Access.** Site design shall incorporate public access to and along the bluff top for a scenic vista. In addition, lateral beach access from the toe of the bluff to the mean high tide line, consistent with public safety and sensitive habitat concerns, shall be provided.

RESIDENTIAL MULTI-FAMILY:

The following standards apply only to lands within the Residential Multi-Family land use category.

Refer also to Section III, Areawide Standards, for additional development and design standards, and to Section V, Cayucos Urban Area Communitywide standards for residential design guidelines outside of Community Small-Scale Design Neighborhoods.

A. Density.

Maximum residential density for new projects, except for senior citizen housing (see the following standard), affordable housing in accordance with the Coastal Zone Land Use Ordinance, and except for development on the 10-acre parcel north of the Locarno Tract (see the standards in Section E, North of Locarno Tract) shall be as follows:

1. 10 dwelling units per acre; or
2. 15 units per acre if the review authority makes the finding that there is sufficient sewer capacity and supplemental water to serve development resulting from the proposed project, existing development (at current rates of water use and occupancy), and all vacant parcels at buildout, assuming the proposed density of up to 15 units per acre in the RMF category.
3. Maximum residential density for the parcel west of Cayucos Creek labeled "Bella Vista" in Figure 7-30 shall be 26 units per acre if outside the service area of a water purveyor and if adequate supplemental water can be obtained.

B. Development Standards--Senior Citizen Housing.

The following standards apply to senior citizen housing located within 0.5 mile (straight line distance) of the central business district. Senior citizen housing consists of either a) residential development that is specifically designed to meet the physical and social needs of persons aged 62 and over; or b) residential development consisting of at least 35 dwellings specifically designed to meet the

physical and social needs of persons aged 55 and over. In the Residential Multi-Family land use category, senior citizen housing includes accommodations for independent living and/or assisted living.

1. **Residential Density.** Maximum residential density shall be 38 units per acre.
2. **Floor Area and Open Area.** The land use permit shall require an amount of private open space and common area for privacy, recreation, light, and air that is appropriate for the nature of the project. There is no maximum floor area limitation; however, in no case shall the minimum open area fall below 40%, as defined in Chapter 23.04 of the Coastal Zone Land Use Ordinance.
3. **Parking.** Parking spaces shall be provided at a ratio of 0.75 spaces per dwelling unit in accommodations for independent living, and 1 space per 3 dwelling units in assisted living accommodations.
4. **Design.** Projects shall be sensitively designed to meet the special physical and social needs of senior citizens, especially with regard to: general safety; safe and convenient pedestrian access on gentle slopes, both within the project and connecting to community services and facilities; recreational choices; environmental amenities; social interaction; and integration with the larger community.

C. Height Limitation.

Maximum allowable building height shall be 28 feet, except as follows:

1. On the seaward side of North and South Ocean Avenues as shown in Figure 7-26: a maximum of 22 feet.

2. In the Locarno Tract as shown in Figures 7-16 and 7-26: a maximum of 20 feet.

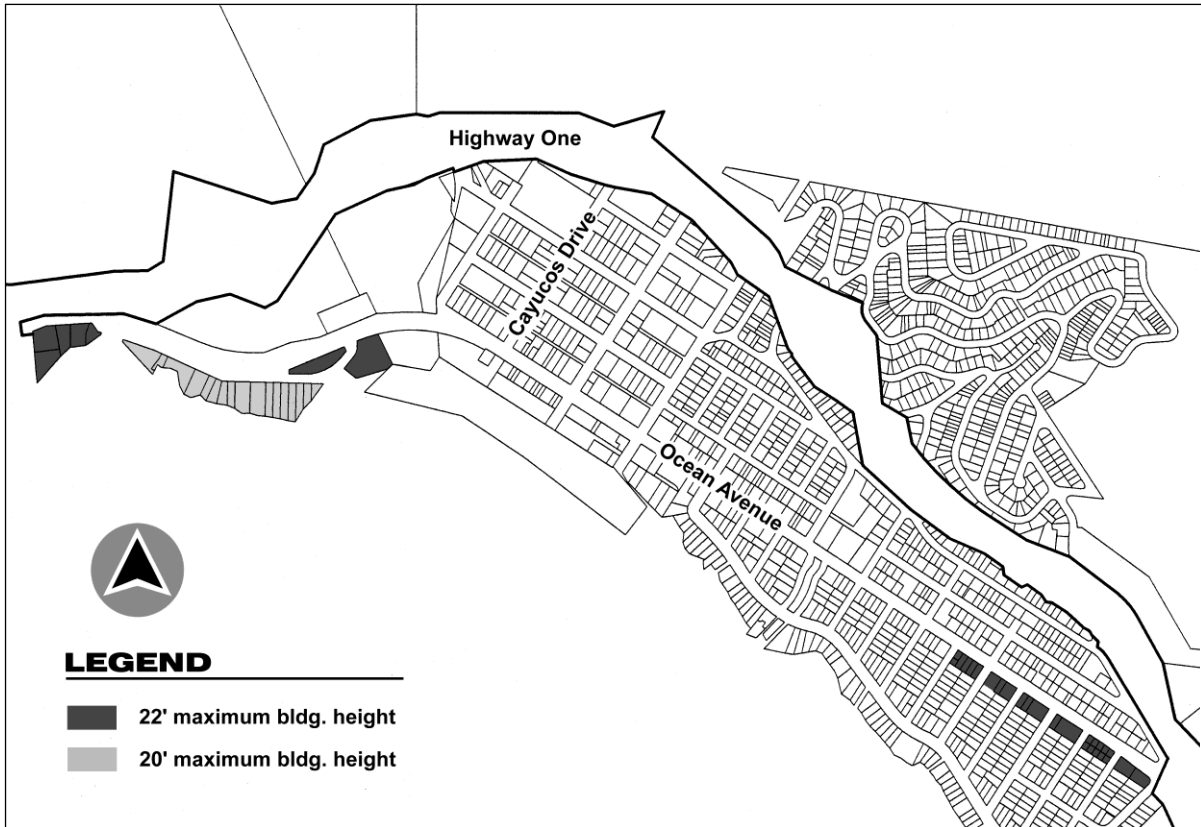


Figure 7-26: Residential Multi Family Categories Seaward of Ocean Avenue

D. Curb, Gutter and Sidewalk Improvements

1. **Waiver of Curb, Gutter and Sidewalk Improvement Requirements.** Installation of curbs, gutters and sidewalks in connection with land uses or land divisions is not required in the areas shown in Figures 7-28 through 7-30, except where needed for drainage purposes as determined by the County Public Works Department. In all other areas, the requirements for curbs, gutters and sidewalks shall be as provided in the Coastal Zone Land Use Ordinance. This standard notwithstanding, curbs, gutters and sidewalks may be installed pursuant to an assessment district or similar mechanism for financing such improvements.
2. **Alternative Walkways.** Curbs, gutters and walkways are required in the area north of the central business district bounded by E Street, Cayucos Drive and Highway 1 as shown in Figure 7-29; however, alternative walkways such as boardwalks are allowable in place of standard concrete sidewalks.

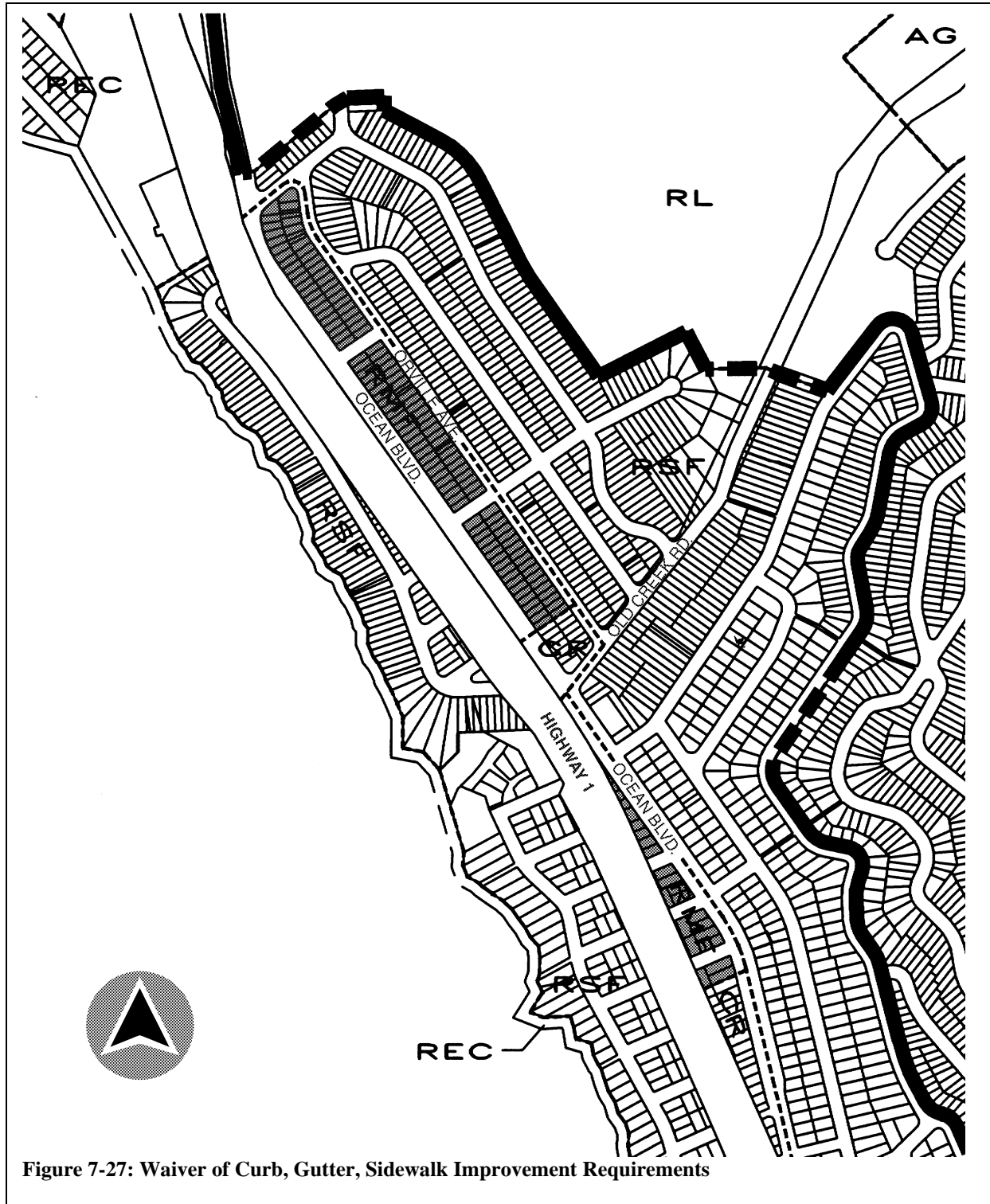
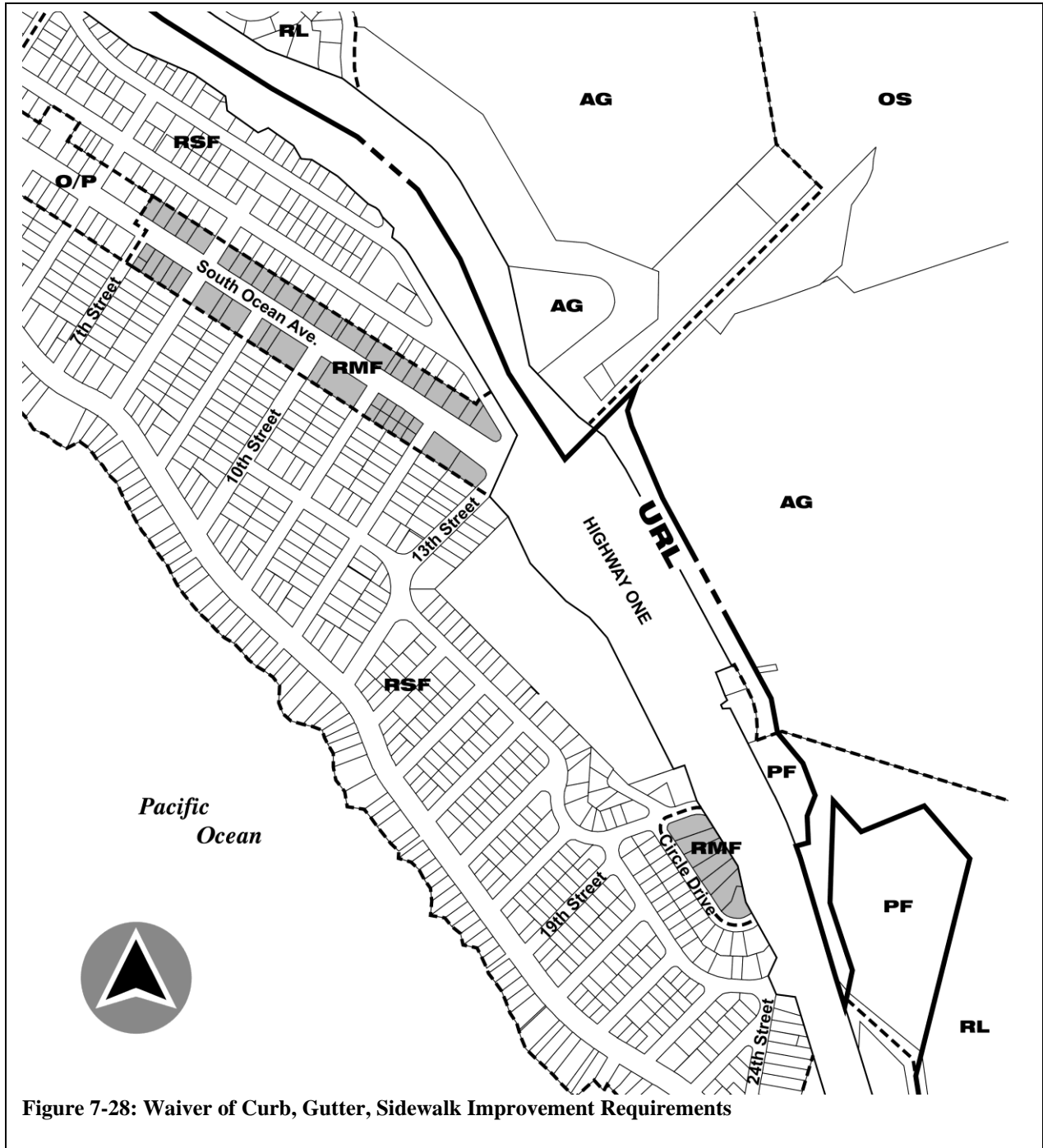
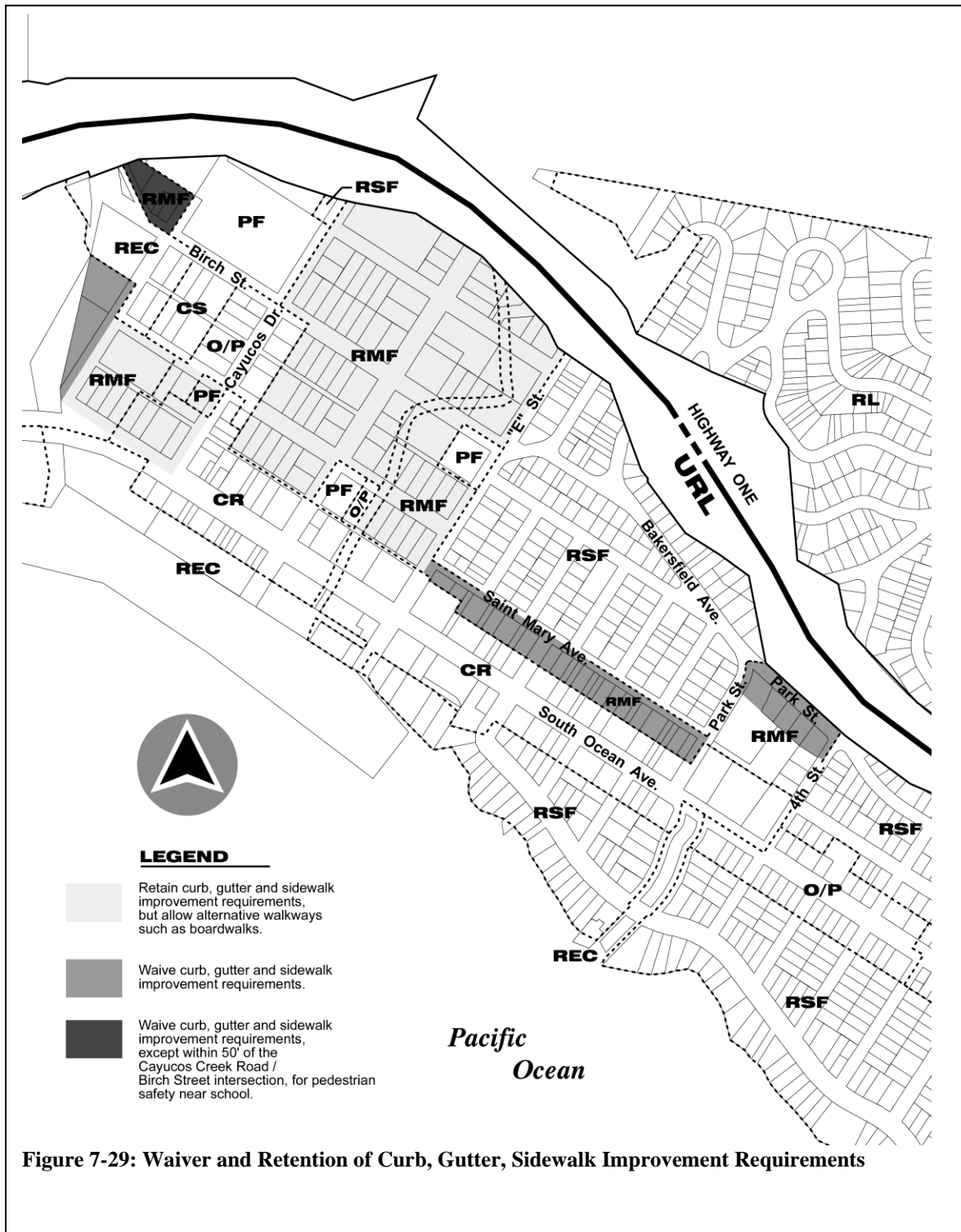


Figure 7-27: Waiver of Curb, Gutter, Sidewalk Improvement Requirements



CAYUCOS URBAN AREA STANDARDS



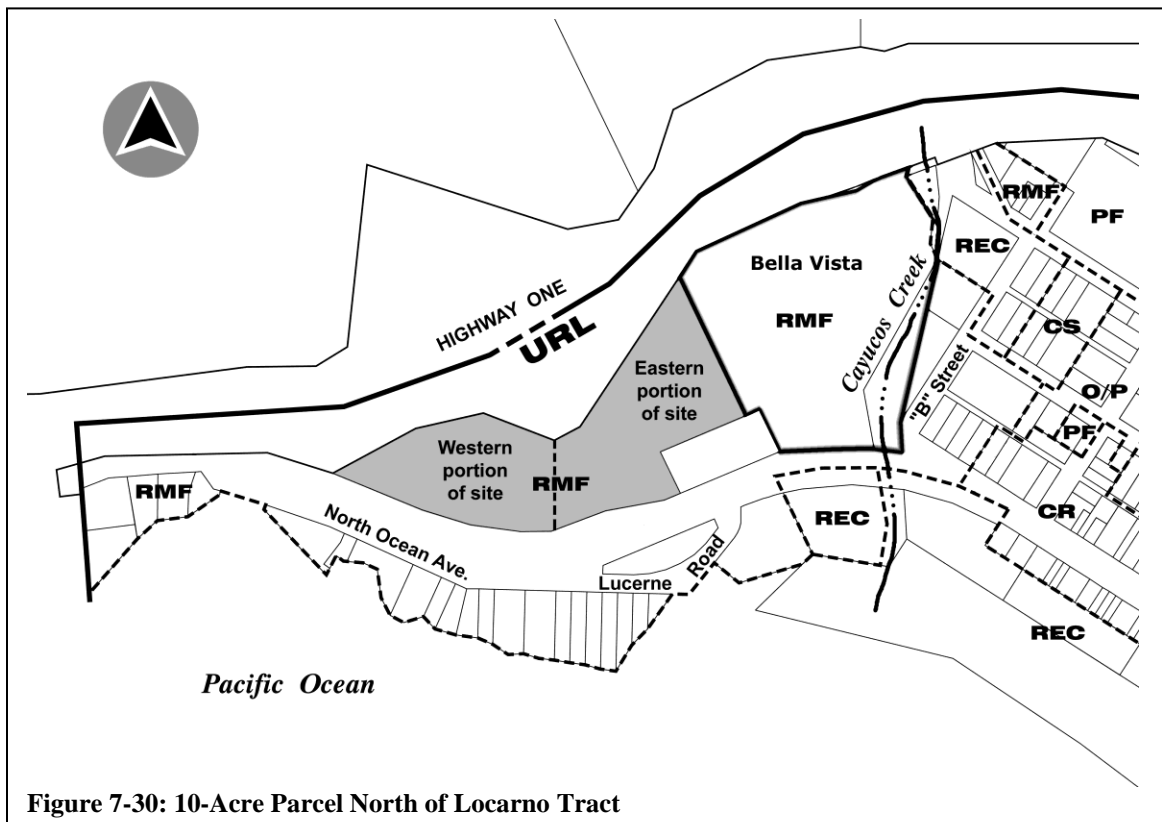
E. North of Locarno Tract.

The following standards apply to the approximately 10-acre parcel located between North Ocean Avenue and Highway 1, north of the Locarno Tract, as shown in Figure 7-31.

1. **Limitation on Use.** Allowable uses shall be limited to single family dwellings, multi-family dwellings, mobilehomes, and residential accessory uses.
2. **Multi-Family and Planned Developments.** All development shall be part of a Planned Development and comply with all applicable standards in the Coastal Zone Land Use Ordinance for such projects.
3. **Application Content.** The land use permit application shall include a visual analysis prepared by a licensed architect, licensed landscape architect or other qualified person acceptable to the Director of Planning and Building. The visual analysis shall make recommendations as to the location and design of development in order to minimize visual impacts as seen from Highway One and North Ocean Avenue.
4. **Open Space.**
 - a. At least 65 percent of the site shall be permanently reserved as undeveloped open space to protect scenic vistas. A road may be included within this open space, only if it is needed to provide access to the eastern portion of the site, and access cannot otherwise be provided to that portion of the site (see Figure 7-31). The access road shall be located to minimize grading and visual impacts.
 - b. The required amount of open space shall be guaranteed through an open space or conservation easement, dedication of fee or partial fee title to a public or quasi-public agency, or other mechanism that achieves the goal of permanent protection of undeveloped open space.
5. **Number of Dwellings.** The maximum number of dwelling units shall be 10 if at least 65 percent of the site is permanently reserved as undeveloped open space to protect scenic vistas; 15 dwelling units if 75 or more percent of the site is so reserved.
6. **Location of Development.**
 - a. All development shall be located below an elevation of 80 feet above sea level and on slopes less than 20 percent. An exception may be approved in the case of a road, only if it is needed to provide access to the eastern portion of the site, and access cannot otherwise be provided to that portion of the site (see Figure 7-31). The access road shall be located to minimize grading and visual impacts.

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- b. All development shall be located where views from Highway 1 and North Ocean Avenue will be least adversely affected, as demonstrated by the required visual analysis.
 - c. The western portion of the site, as shown in Figure 7-31, shall be developed with no more than 50 percent of the total number of dwelling units proposed on the site.
7. **Type of Dwelling Units.** Multi-family dwellings are not allowable on the western portion of the site, as shown in Figure 7-31.
 8. **Building Height.** Maximum building height shall be 28 feet.
 9. **Building Face Height and Setback.** Building face height and setback shall be as required in Residential Single Family standard C1 for areas outside of Community Small-Scale Design Neighborhoods.



RESIDENTIAL SINGLE FAMILY:

The following standards apply only to lands within the Residential Single Family land use category.

Refer also to Section III, Areawide Standards, for additional development and design standards, and to Section V, Cayucos Urban Area Communitywide standards for residential design guidelines outside of Community Small-Scale Design Neighborhoods.

A. Circulation.

1. **Road Improvements.** All new dwellings on non-county-maintained roads shall be served by a street at least 26 feet wide fronting the site, and at least 20 feet wide from the site back to the nearest county-maintained road. Improvements shall be made to County Standard A-1 (Rural) at a minimum. Land Divisions shall comply with the road improvement standards in Title 21 of the County Code.

B. Height Limitation.

New development shall not exceed 28 feet, unless a more restrictive height limitation is specified in the following standards.

C. Outside of Community Small-Scale Design Neighborhoods

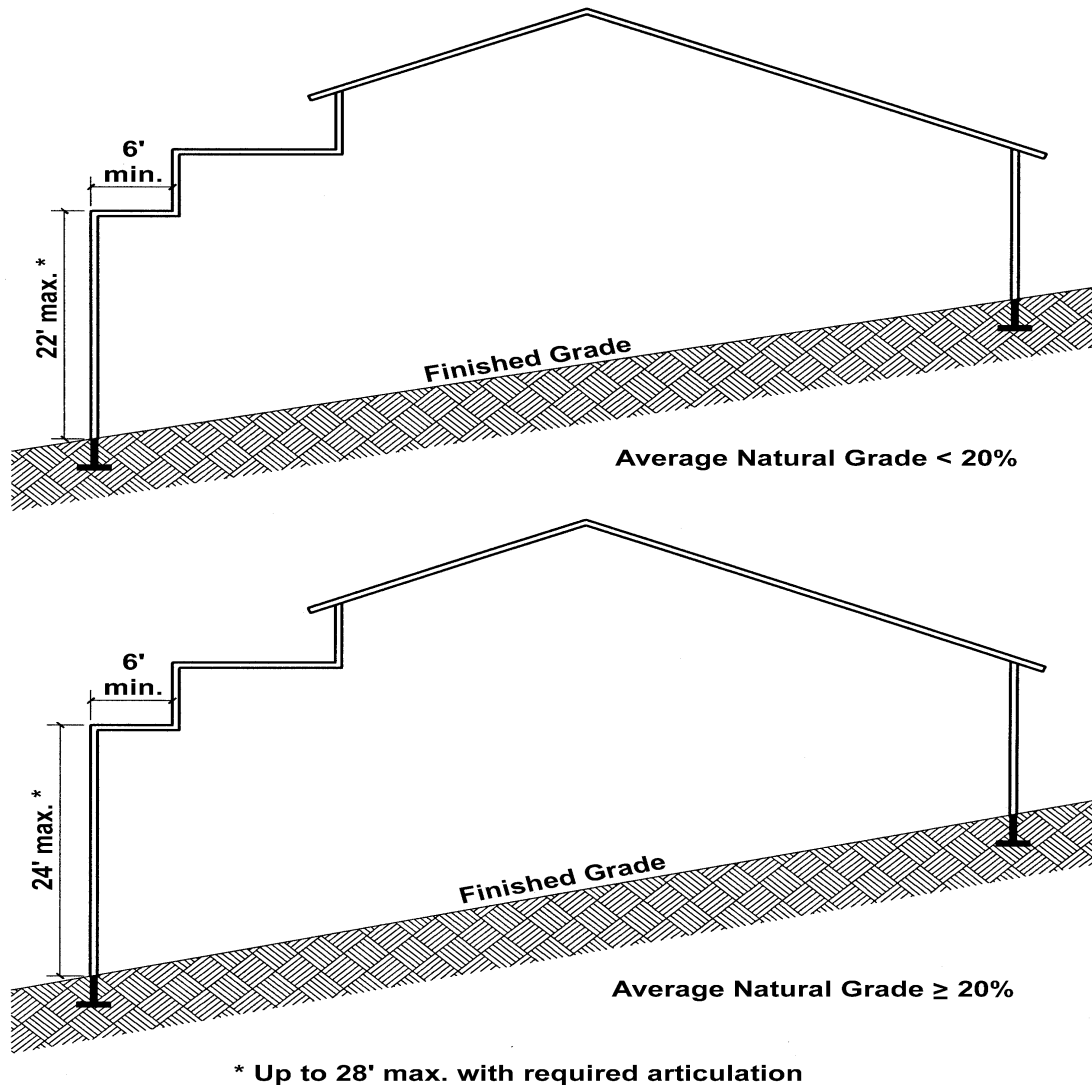
The following standards apply in areas outside of the Community Small-Scale Design Neighborhoods identified in Figure 7-33. The intent of the following standards is to encourage new development to be in scale with the neighborhood so that it does not appear crowded; to avoid massive-appearing buildings, especially on small lots; and to create visual relief and interest.

1. **Building Face Height and Setback.** In order to reduce the apparent mass of buildings, the maximum height of the front and rear building faces (including decks and balconies), as measured from the finished grade, shall be as shown in the following table, and the minimum setback from that building face to the next higher story shall be six feet (see Figure 7-31).

Average Slope of Lot Prior to Grading (Percent)	Maximum Height of Front and Rear Building Face From Finished Grade (Ft.)
Less Than 20	22
20 and Greater	24

A building face may exceed these heights only if all of the following are met:

- a. A Minor Use Permit is approved



* Up to 28' max. with required articulation

Figure 7-31: Front and Rear Building Face Height and Setback—Residential Single Family Outside Community Small-Scale Design Neighborhoods

- b. The maximum height of the building face is 28 feet as measured from finished grade
- c. The Review Authority determines that the apparent mass of the building is reduced through use of significant articulation--including three-dimensional components--that meets the intent of the communitywide *Residential Design Guidelines Outside of Community Small-Scale Design Neighborhoods: Wall Articulation and Relief* (following Section VG of the Communitywide standards).

This standard does not affect how building height is measured pursuant to Chapter 23.04 of the Coastal Zone Land Use Ordinance.

2. **Lot Coverage.** The maximum building footprint of all structures, including garages and carports, shall be 50 percent of the total area of the site (see Figure 7-32). All covered decks, and the portions of uncovered decks and balconies that extend into any required setback, shall be included in the building footprint.

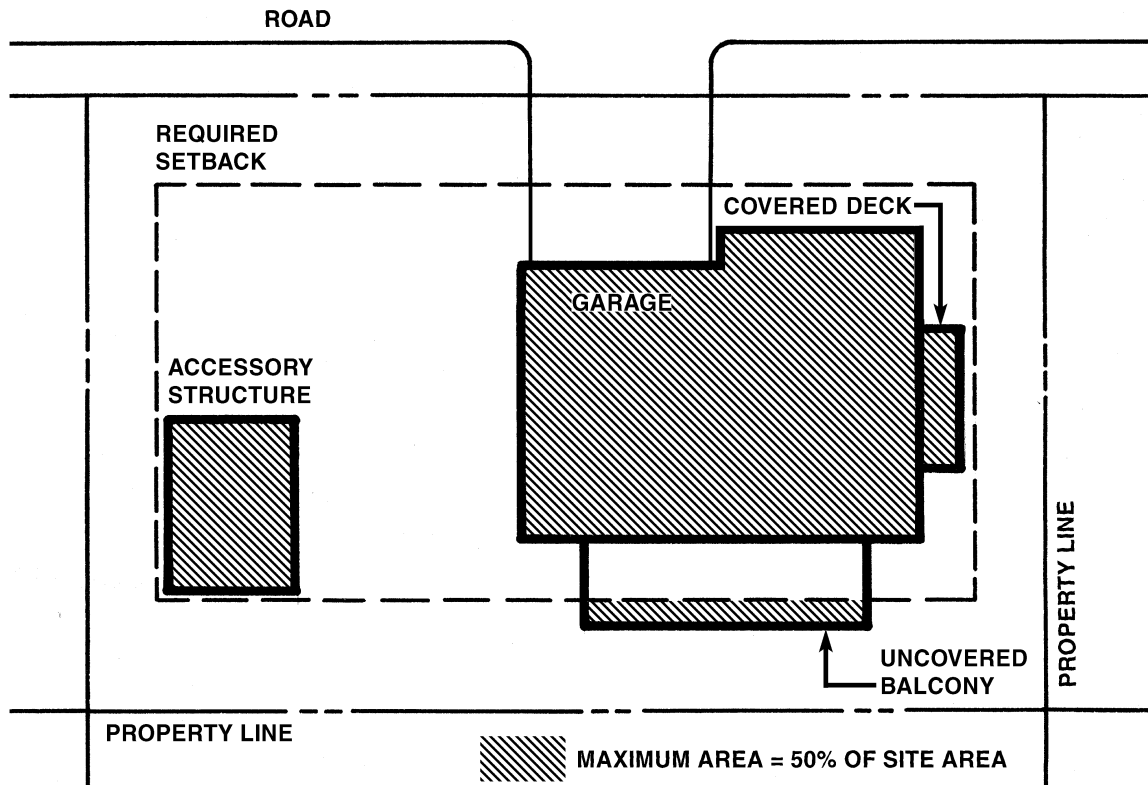


Figure 7-32: Lot Coverage—Residential Single Family Outside Community Small-Scale Design Neighborhoods

D. Community Small Scale Design Neighborhoods

1. **Location.** Two neighborhoods are subject to the following standards (2, 3 and 4), and guidelines.

Pacific Avenue Neighborhood - That area designated Residential Single Family between Ocean Avenue, 13th Street, Cass Avenue, Circle Drive, Highway One, Old Creek, and the ocean.

Studio Drive Neighborhood - That area designated Residential Single Family between Highway One and the ocean.

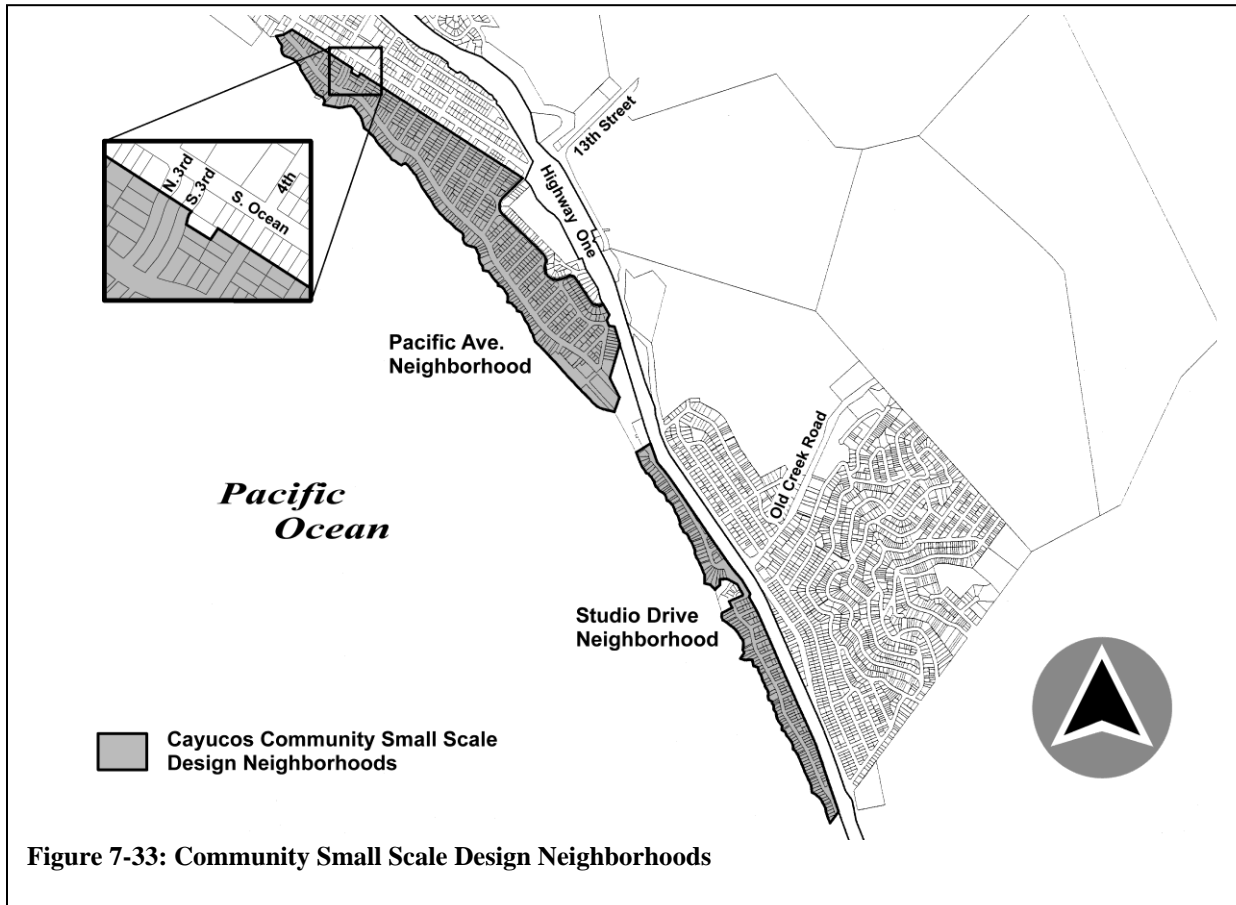


Figure 7-33: Community Small Scale Design Neighborhoods

2. Permit Requirements and Findings.

a. Plot Plan Permit

(1) Development with proposed structures that are one-story and do not exceed 15 feet in height, where all the development is located at least 100 feet from any wetland, estuary or stream, and at least 300 feet from the ocean bluff-top.

(2) Development with proposed structures between 15 feet and 24 feet in height, where all the development is located at least 100 feet from any wetland, estuary or stream, and at least 300 feet from the ocean bluff-top may be approved subject to a maximum gross structural area (including the floor area of all garages) of 45% of usable site area, provided it complies with standards 3a, b, c, e, f(1), and g; and with guideline b and finding c.(2), listed below:

b. Minor Use Permit:

- (1) Development that is within 100 feet of any wetland, estuary or stream, or within 300 feet of the edge of the ocean bluff-top. In addition, such development is subject to standards, guidelines and findings listed below.
- (2) Development with proposed structures between 15 feet and 24 feet in height except as provided in 2a.(2) above. In addition, such development is subject to standards, guidelines and findings listed below.

c. Required Findings:

- (1) The proposed project meets the community small scale design neighborhood standards and is therefore consistent with the character and intent of the Cayucos community small scale design neighborhood.
- (2) For any proposed structure that exceeds 15 feet in height, public view of the ocean from Highway One or the respective neighborhood is not being further limited.

3. Standards.

a. Front Setbacks. The ground level floor shall have setbacks as provided in Cayucos Communitywide Standard G. and at no point shall a lower story wall exceed 12 feet in height including its above ground foundation. The second floor of proposed two-story construction shall have an additional front setback of at least three feet from the front of the lower wall, except open rail, uncovered decks are excluded from this additional setback and may extend to the lower front wall (see Figure 7-34).

b. Side Setbacks. Single story dwellings shall have setbacks as provided in Cayucos Communitywide Standard G. Proposed two-story construction (including decks) shall have a lower floor setback on each side of not less than four feet, nor less than the required corner side setback if applicable. An upper story wall setback on each side yard of a minimum of two-and-one-half (2 1/2) feet greater than the lower story wall shall also be required. At no point shall a lower story wall exceed 12 feet in height including its above ground foundation. Thirty percent of the upper story side wall may align with the lower floor wall provided it is within the rear two-thirds of the structure (see Figure 7-34).

c. Building Height Limitations. Heights shall be measured from the center line of the fronting street (narrowest side for corner lots) at a point midway between the two side property lines projected to the street center line, to the highest point of the roof. In the community small scale design neighborhood area defined in Standard 1, upslope lots shall use average natural grade. All proposed development including remodeling and building replacement is subject to the following limitations:

- (1) Ocean Front Lots. 15 feet maximum.

- (2) Remainder of Community Small Scale Design Neighborhood lots. Proposed structures, exclusive of chimneys and mechanical vents, are not to exceed 24 feet in height measured as provided above. Sloped (pitched) roofs are encouraged in all structures; however roof heights up to 18 feet shall not be required to have sloped roofs, roof heights exceeding 18 feet but not exceeding 22 feet shall have a roof pitch of at least 4:12 (4 inches of rise per 12 inches of run) and roof heights exceeding 22 feet but not exceeding the maximum height allowed (24 feet) shall have a roof pitch of at least 5:12 (5 inches of rise per 12 inches of run). Mansard or other flat style roofs on buildings over 18 feet are not permitted. Existing residences completed prior to April 25, 1995, with a roof pitch of at least 3:12 (3 inches of rise per 12 inches of run) may have second story roof slopes matching the existing slope where the building height does not exceed 22 feet.

d. Gross structural area (GSA).

- (1) One-story development, and all development on bluff top sites, is limited to a maximum gross structural area, including the area of all garages, of 3,500 square feet.
- (2) Other new development or additions, exceeding one story or 15 feet in height, shall not exceed GSA's as provided in Table 7-3. In addition, the second story square footage shall be no greater than 60 percent of the first floor square footage.

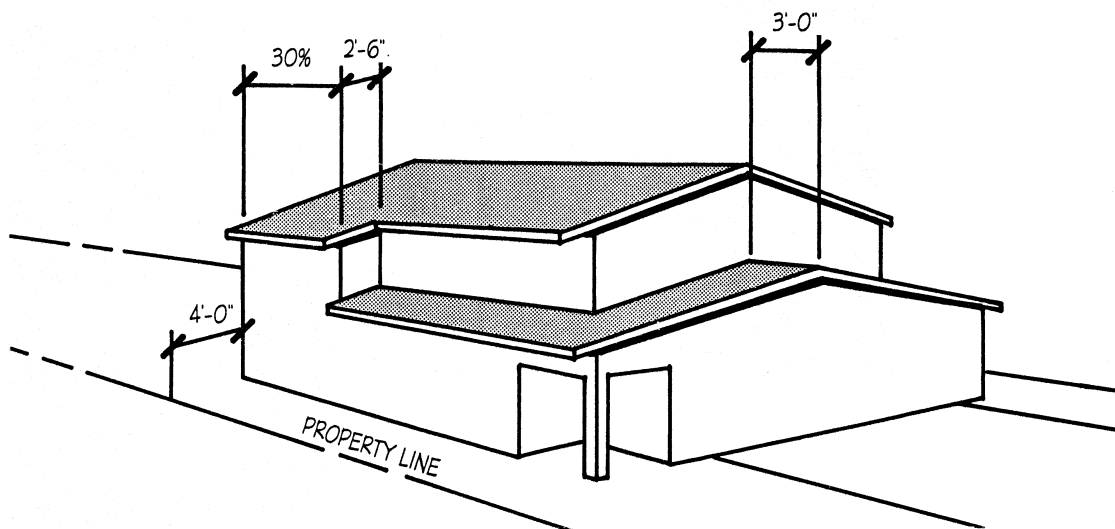


Figure 7-34: Setbacks for Two-Story Structure

Table 7-3: Maximum Gross Structural Area

Lot Size	Maximum Gross Structural Area Shall Be:
Up to 2899	60% of usable lot, not to exceed 1595 square feet
2900 – 4999	55% of usable lot, not to exceed 2500 square feet
5000 +	50% of usable lot, not to exceed 3500 square feet

- e. Deck rail height. Rail heights for decks above the ground floor shall not exceed 36 inches. A maximum additional height of 36 inches of untinted, transparent material with minimal support members is allowable except as restricted in 3a above.
- f. Parking. New development parking spaces shall comply with the CZLUO for required parking spaces except as follows (see Figure 7-36):
 - (1) At least one off-street parking space shall be enclosed with an interior space a minimum size of 10 feet by 20 feet.
 - (2) A maximum of one required off-street parking space may be located in the driveway within the required front yard setback area. However, the minimum front yard setback from the property line to the garage is 20 feet if this design is used.
 - (3) Additions to an existing structure on a site that does not conform to the parking standards of this subsection may be approved through a Minor Use Permit if all of the following criteria are met, notwithstanding the provisions of Chapter 23.09 of the Coastal Zone Land Use Ordinance regarding nonconforming parking:
 - i. the site shall not be a bluff-top lot, and
 - ii. the addition shall be one-story only and shall not increase the gross structural area of the existing structure by more than 25 percent, provided that the maximum GSA as required in Table 7-3 shall not be exceeded, and
 - iii. the addition shall not include any bedrooms, and
 - iv. at least one off-street parking space shall be provided that is enclosed with an interior space that has a minimum size of 10 feet by 20 feet
 - v. one off-street parking space may be located within the required front setback, as long as the space does not encroach into the street.

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- g. Driveway Widths. Driveway widths for proposed development may not exceed 18 feet.
- h. Streetscape Plan. A scale drawing showing the front exterior elevation (view) of the proposed project, and the front elevations of the adjacent buildings, is required as part of the application submittal.
- i. Topographic Map. A topographic map including the elevation of the fronting street, site contours, and existing and proposed drainage patterns is required as part of the application submittal.

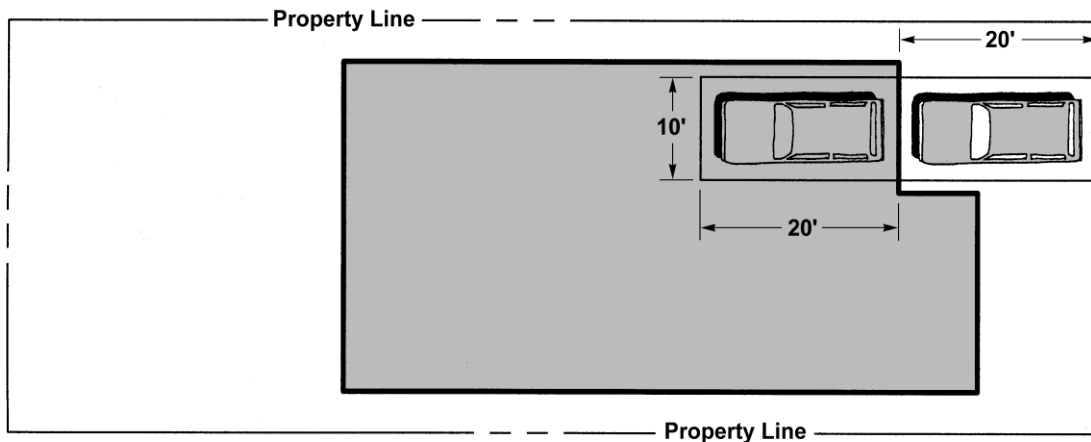


Figure 7-35: Parking Space Shown in Front Yard Area with Minimum 20' Setback to Building

- 4. **Destroyed structures.** Where a dwelling has been destroyed pursuant to Section 23.09.033a, it may be restored in substantial conformance with the destroyed dwelling within the existing footprint if the proposed dwelling is in conformance with applicable bluff setbacks and fire safe standards. A single story dwelling may not be replaced with a multi-story structure under this provision.

Guidelines. *The following are guidelines that should be considered when designing any proposed project within the subject areas. A project subject to a Minor Use Permit approval will consider how the design complies with the following objectives:*

- a. **Site Layout.** Locate the structure so that it minimizes its impact on adjacent residential structures (such as significantly reducing access to light and air).
- b. **Building Design.** The design should incorporate architectural details and varied materials to reduce the apparent mass of structures. Such scale reducing design devices include porches, covered entries, dormer windows, oriel and bay windows, multi-pane windows, varying roof profiles, moldings, masonry, stone, brickwork, and wood siding materials. Expansive building facades should be broken up by varied rooflines,

offsets, and building elements in order to avoid a box-like appearance. Variations in wall planes, roof lines, detailing, materials and siding should be utilized to create interest and promote a small scale appearance. Roof styles and roof lines for first and second stories should match (see Figure 7-36).

- c. Landscaping and Fencing. The site design should incorporate landscaping materials that help reduce the scale of the proposed structure. This can be done by proper selection and placement of trees, shrubs and other vegetation capable of screening portions of the structure from public viewpoints. The design should consider the use of decorative paving materials, such as aggregate concrete, stamped and/or colored concrete.

The site design should consider effective use of small scale fencing materials in the front yard area to help soften the massing of the building. Fences which present a solid barrier should be avoided except where privacy is desired.

E. Height - Studio Drive at Willow Creek, Tract 1078.

Maximum building height in Tract 1078 (see Figure 7-37) as measured from the centerline of the fronting street is 14 feet north of Willow Creek, and 16 feet south of Willow Creek.

CAYUCOS URBAN AREA STANDARDS

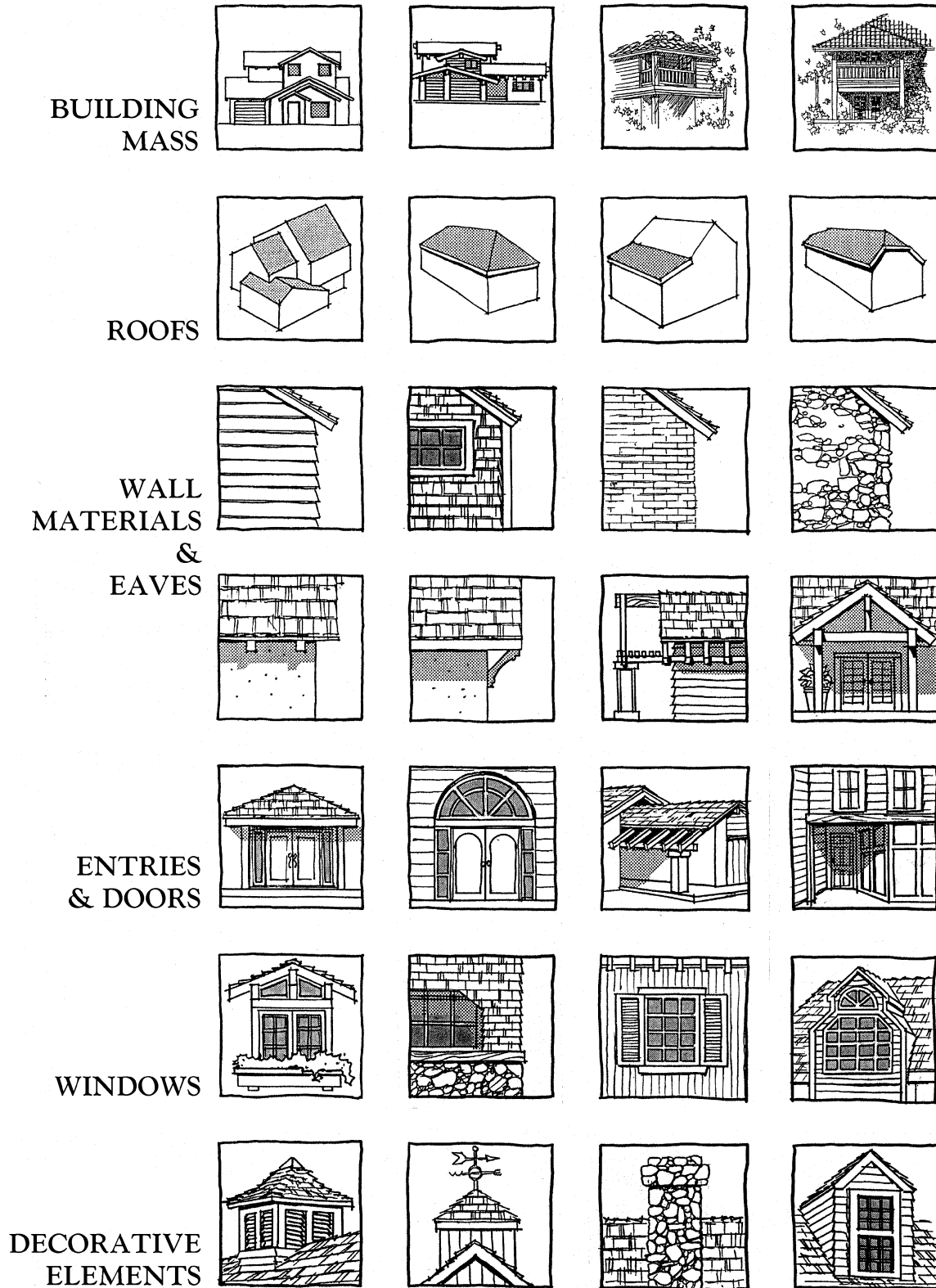


Figure 7-36: Residential Development Design Concepts

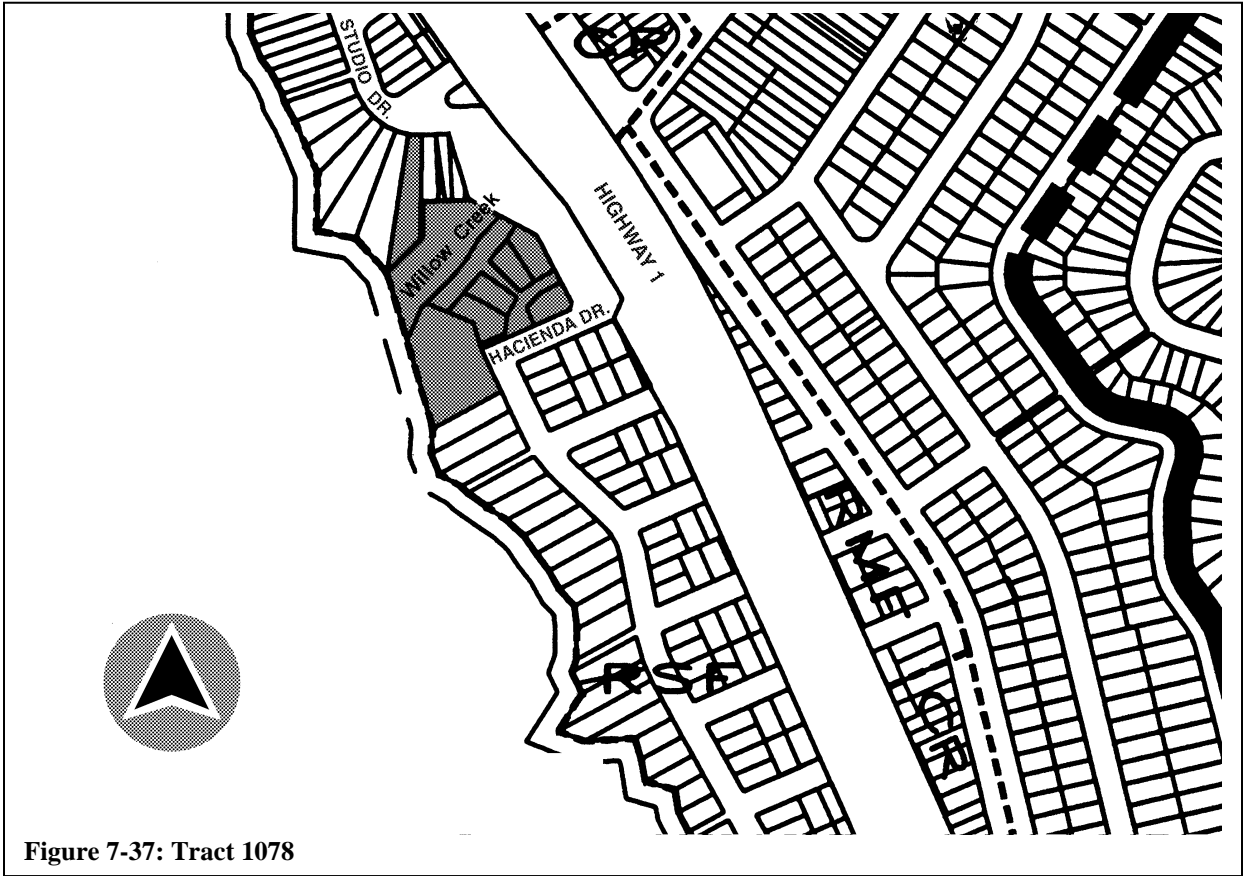


Figure 7-37: Tract 1078

VI. LOS OSOS URBAN AREA STANDARDS

The following provisions apply to all development within the Los Osos Urban Reserve Line, as shown in Figure 7-38, to the land use categories or specific areas listed, unless otherwise stated.

LOS OSOS URBAN AREA STANDARDS

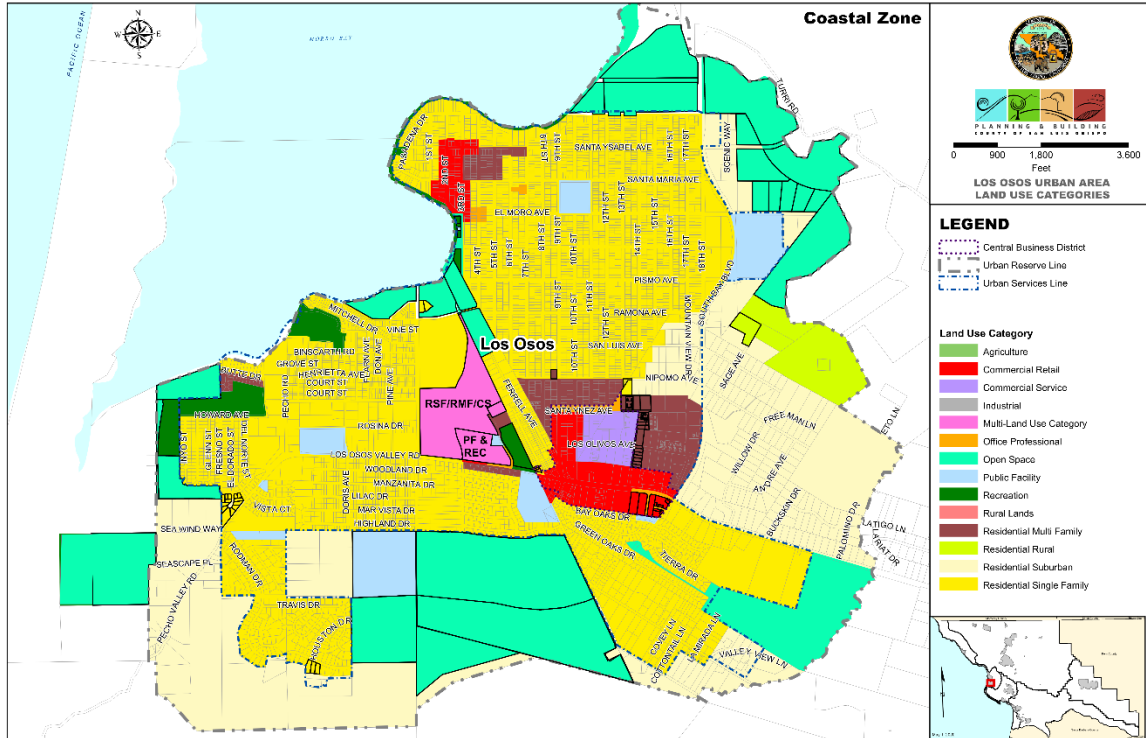


Figure 7-38: Los Osos Urban Area Land Use Categories

COMMUNITYWIDE STANDARDS

A. Water Supply

All development within the service area boundaries of public/community water supply systems (i.e., Los Osos Community Services District, Golden State Water Company, and S&T Mutual Water Company) shall connect to such systems, with private wells within such areas prohibited and only allowed outside of such service area boundaries. Development shall only be approved if it can be served by an identifiable, available, adequate, and long-term sustainable water supply, where this requirement shall be deemed satisfied only if the amount of water pumped from the Los Osos Groundwater Basin is at or below the sustainable yield as defined by the best available science. In no case shall the number of CDPs for new residential units exceed a rate of 1% of the total number of residential units in the community per year.

B. Wastewater Services

Development shall only be approved if it can be served by an identifiable, available, adequate, and long-term sustainable wastewater treatment system. All development within the Los Osos Water Recycling Facility service area shall connect to that system for wastewater services, and all private septic/wastewater systems shall meet all applicable State and Federal water quality requirements and do not adversely impact coastal resources.

C. Habitat Resources

Areas within Los Osos are underlain by Baywood fine sand soils, and as such, could potentially contain habitat supporting protected plant or animal life. The Los Osos Habitat Conservation Plan (LOHCP) addresses conservation of such habitat with a holistic approach that balances conserving contiguous land with greater habitat value (as described in the LOHCP) while allowing development in the urban area, subject to mitigation of habitat impacts by contributing to the conservation and improvement of greater habitat value areas within the Priority Conservation Area. To ensure that this holistic approach to address potential habitat is implemented and enforced, development in Los Osos shall participate in the LOHCP and comply with all applicable provisions of the County's community-wide Incidental Take Permit for Los Osos. Development that includes disturbance within the LOHCP Area mapped on Figure 7-39 is defined as any activity that disturbs and/or removes soils or vegetation in that area, and shall only be approved if it is mitigated as described below. The disturbance envelope for purposes of compensatory mitigation includes the area of habitat that is temporarily impacted as a result of construction activities including access and staging, and is restored following completion of the project, as well as the area of permanent habitat impacts, but excluding disturbance within/on any existing legally permitted structures and hardscape.

Development shall only be approved if a fee is paid prior to development occurring to the County (or other appropriate conservation entity approved by the County) to fund land acquisition and restoration projects within the Priority Conservation Areas shown in Figure 7-39. The fee shall be at least \$52,234 per disturbed acre (i.e., \$1.20 per disturbed square foot) or the fee authorized by the adaptive management provisions of the HCP, whichever is greater.

Development located within the LOHCP Priority Conservation Areas as shown on Figure 7-39 shall be consistent with the approved LOHCP or shall be limited to uses dependent on the habitat therein (e.g., habitat restoration, scientific research, low-intensity public interpretive access, etc.), and shall be sited and designed to protect against significant disruption of habitat values. All other development shall be prohibited in the LOHCP Priority Conservation Areas, except for land divisions that are more protective of the habitats therein than the current lot configurations.

For purposes of appeal to the Coastal Commission, only development located within the Priority Conservation Areas is appealable for purposes of the sensitive coastal resource area criterion.

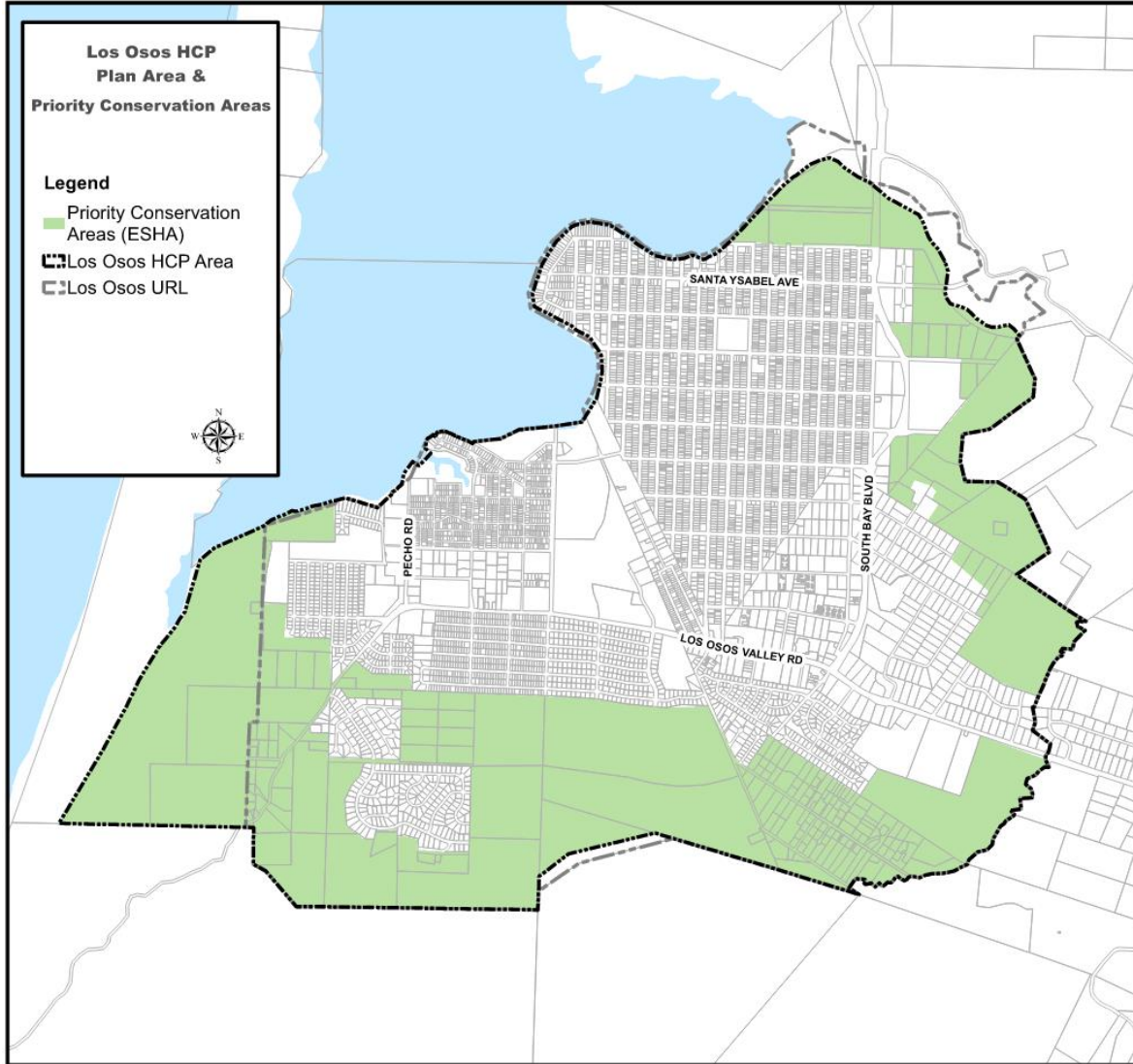


Figure 7-39: LOHCP Priority Conservation Areas (ESHA)

D. Public Views

Development shall only be approved if it ensures that public views are not significantly impacted, and if it does not adversely affect significant public views. In addition, the provisions of Coastal Zone Land Use Ordinance Section 23.04.210 shall apply to: (1) Pecho Valley Road between Rodman Drive and Montana de Oro State Park; (2) South Bay Boulevard; and (3) Los Osos Valley Road east of South Bay Boulevard.

E. Bayside Development

In addition to other LCP provisions that apply, development within 100 feet of the edge of Morro Bay shall meet the following requirements:

1. **Height.** All structures on sites that are bayward of the line shown on Figure 7-40 shall be limited to a maximum height of 14 feet, except where a greater height limit is noted

on Figure 7-40. Exceptions to height limitations pursuant to Chapter 23.04 of the Coastal Zone Land Use Ordinance shall not apply in this area, with the sole exception of solar panels which may extend up to an additional 2 feet.

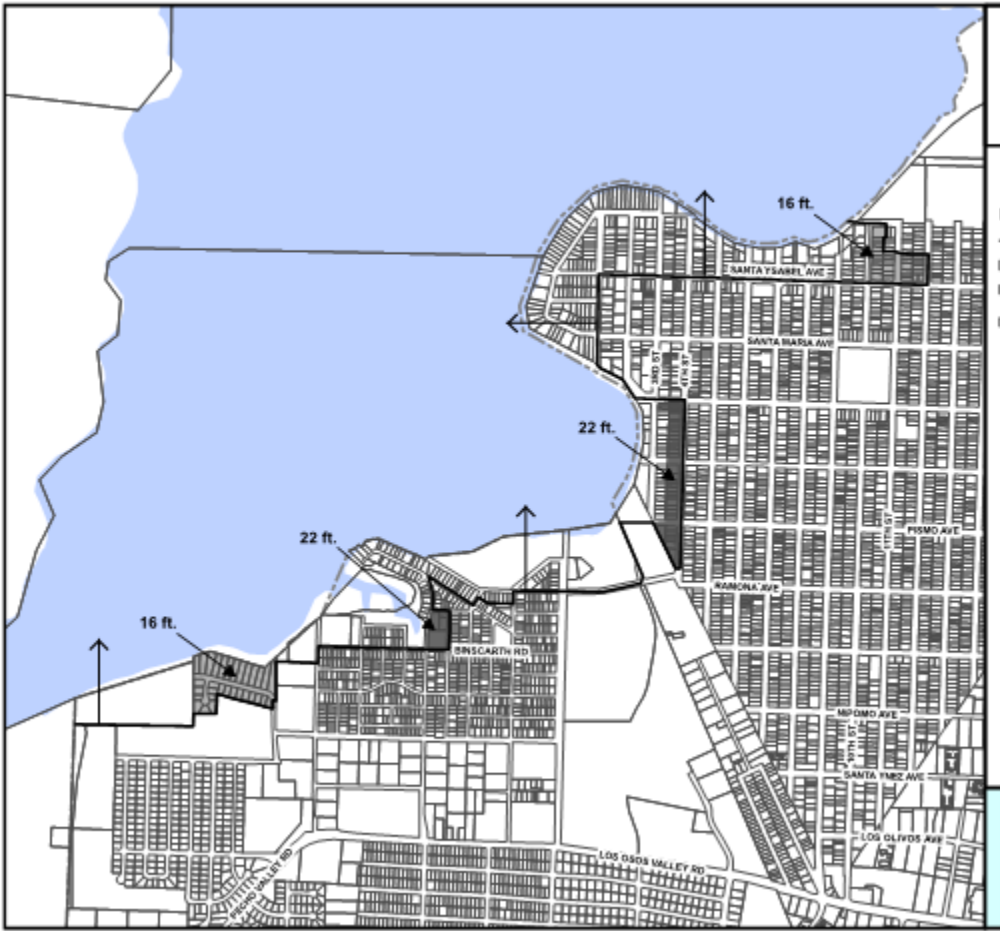


Figure 7-40: Los Osos Height Limits

- 2. **Soil/Vegetation Protection.** Hydrophytic and other sensitive vegetation shall be preserved as much as possible. Grading shall be minimized and limited to the building pad and driveway, road, and other required improvements.
- 3. **Fences.** Fences that would degrade public views towards the bay, or that would impede public access, or that would significantly interfere with native wildlife movement/migration, shall be prohibited.
- 4. **Retain Public Recreational Access.** Existing public recreational access areas and features shall be preserved, and shall be free to the public.
- 5. **Public Piers Only.** Private piers, docks, boardwalks or similar such structures in and/or adjacent to Morro Bay waters shall be prohibited. Existing such structures that were not legally established shall be removed, and legally established such structures are encouraged to be made public.

6. **Retain Public Parking.** Development that results in a net loss of public parking that serves public recreational access facilities and/or users shall be prohibited.
7. **Required Public Recreational Access Improvements.** Development in the following areas shall only be approved if it includes the improvements specified as follows:
 - a. **Tract 40 (see Figure 7-41).** An ambulatorily public recreational access easement, extending from the mean high tide line to a point at least 30 feet inland of the inland extent of wetland vegetation, shall be provided, where such area shall be protected, preserved, and enhanced for habitat and public recreational access purposes.
 - b. **Bayfront/Cuesta Inlet (see Figure 7-41).** Maximum public recreational access opportunities to and along the shoreline in this visitor-serving priority area shall be provided consistent with the protection of habitat.

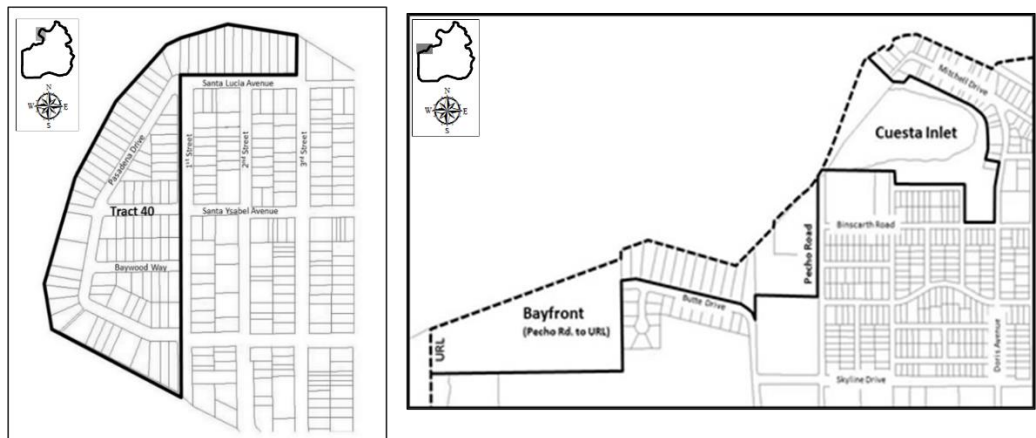


Figure 7-41: Bayfront Access

8. **Wetland/Shoreline Protection.** The marshes and wetlands of the Morro Bay shoreline shall be protected and restored as a high priority nature-based adaptation strategy and coastal resource enhancement, including by all of the following means:
 - a. **Sediment Reuse.** Restoration projects shall facilitate the delivery of clean, dredged sediment for areas where existing wetlands are or may become sediment-limited due to sea level rise.
 - b. **Natural Shorelines.** Development required to protect existing structures in danger from erosion shall use “soft” (also referred to as “natural” and “living shoreline”) solutions if feasible (e.g., planting, dune restoration, sand nourishment, etc.), and “hard” shoreline protection (e.g., retaining walls, seawalls, riprap, etc.) shall be prohibited unless soft solutions are infeasible.
 - c. **Natural Flood Prevention Processes.** Flood hazard prevention and mitigation shall prioritize restoration of low-lying flood-prone areas and natural drainageways. Native plants and nature-based, “soft” stabilization shall be prioritized over methods that rely on concrete channelization or other “hard armoring” stabilization methods.

- d. **Wetland Setbacks.** Development shall be set back from the upland extent of wetland vegetation as shown in Table 7-4 and Figure 7-46 (see Morro Bay Shoreline (SRA) section in Combining Designation standards below). A biological survey performed consistent with Coastal Zone Land Use Ordinance Chapter 23.07 shall be used to determine the upland extent of wetland vegetation.
- e. **Acreage Calculations.** Net acreage, where all areas of wetland are excluded/subtracted from gross area calculations, shall apply to all area and/or density minimum/maximum calculations.

F. Advisory Council Referral

Applications for land divisions, general plan amendments, Minor Use Permits, and Development Plans shall be referred to the Los Osos Community Advisory Council or its successor for review and comment.

G. Fire Safety Clearance

All applications for new development shall receive fire clearance from the applicable fire protection agency.

H. Consistency with Circulation Element

All proposed public and private development and circulation improvements shall be consistent with the Circulation Element, Chapter 5 of the Los Osos Community Plan — including recommended roadway, pedestrian, intersection, traffic calming, bikeway, and other improvements, and the circulation policies found in Chapter 2, Section 2.5.4 of the Los Osos Community Plan, so long as it is otherwise LCP-compliant.

I. Light and Glare

At the time of application for any land division, land use permit or coastal development permit, the applicant shall provide details on any proposed exterior lighting, if applicable. Except as necessary to support agricultural operations, all lighting fixtures shall be shielded so that neither the lamp nor the related reflector interior surface is visible from adjacent properties. Light hoods shall be dark-colored.

J. Drainage

Los Osos Lowland Areas--Drainage Plan Requirement. In areas designated in Figure 7-42, all permit applications for grading, new structures or additions to the ground floor of existing structures shall require drainage plan approval pursuant to Chapter 5 of the Coastal Zone Land Use Ordinance. Development shall not cause adverse impacts to downstream properties, wetlands or the Morro Bay estuary from runoff, sedimentation, or pollution.

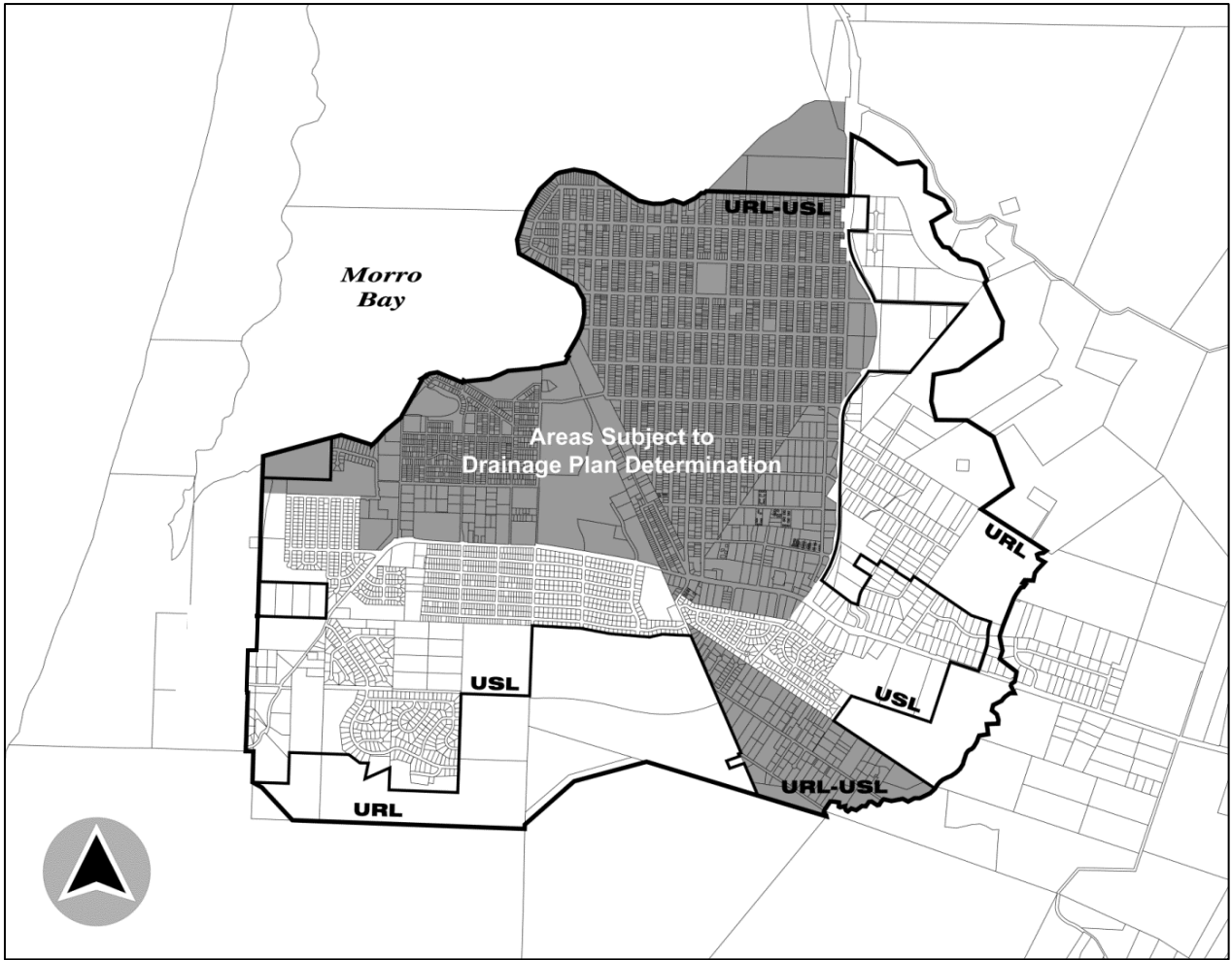


Figure 7-42: Los Osos Lowland Areas Drainage Plan Required

K. Tree Protection and Replacement

1. **Tree Protection.** Development shall be designed to protect and maintain stands of native trees, or tree stands that provide valuable habitat or scenic value to the maximum extent feasible, while allowing reasonable use of the property.

Tree protection plans are required for any construction activity that occurs within twenty feet of the drip line of a native tree.

2. **Native Tree Retention and Replacement.** Development shall: a) be designed to retain healthy Native trees where feasible, except where removal is appropriate for habitat restoration or enhancement or where removal cannot be avoided; b) provide for replacement of diseased or aging Native trees at a 2:1 ratio with Native tree species approved by the County that are drought tolerant, appropriate to the climate, resistant to disease, and compatible with the character of the area.

3. **Construction Practices.** Construction practices to protect trees shall be implemented. These construction practices are to include a minimum:
 - a. **Protective Measures.** Practices to protect trees shall include but not be limited to: installing orange construction fencing around protected areas shown on the site plan; protecting tree trunks and other vegetation from construction equipment by wood fencing or other barriers or wrapping with heavy materials; disposing of waste, paints, solvents, etc. off-site by approved environmental standards and best practices; and using and storing equipment carefully.
 - b. **Stockpiling of Materials.** Materials, including debris and dirt, shall not be stockpiled within 15 feet of any tree, and shall be minimized under tree driplines. Stockpiled materials shall be removed frequently throughout construction. All stockpiled materials shall be removed before final inspection.
 - c. **Construction Practices.** Excavation work shall be planned to avoid root systems of all on-site trees and trees on abutting properties. Any trenching for utilities that may occur within the dripline of trees on the project site shall be hand dug to avoid the root system of the tree.

L. Streets and Circulation

1. **Curb, Gutter and Sidewalk Improvement Requirements.** Requirements and exemptions for installation of curb, gutter, and sidewalk improvements are specified in Section 23.05.106 of the Coastal Zone Land Use Ordinance (Title 23). Alternative walkways are encouraged in place of standard concrete sidewalks and may be approved by the Department of Public Works as an exception to the public improvement standards.
2. **South Bay Boulevard Extension.** New development and land divisions shall preserve, and where needed, include offers to dedicate a right-of-way easement of the South Bay Boulevard extension (see the Circulation map) for habitat conservation and potential trail uses only.
3. **Trees.** Planting of trees in the streetscape is required for all new land divisions and all construction of new dwellings and new non-residential development. Trees shall meet the following requirements; unless a streetscape-tree master plan has been approved by the County, in which case the requirements of that plan take precedence (see Figure 7-43):
 - a. **Size:** At least 15-gallon containers.
 - b. **Number:** An average of one tree per 25 feet of frontage. If that number is not feasible due to the following location requirements, the number of trees shall be the maximum that is consistent with those requirements.
 - c. **Location:** Outside of the street right-of-way and 10-15 feet behind the sidewalk or street (if no sidewalk); alternatively, within the street right-of-way where an encroachment permit has been issued and establishes perpetual maintenance responsibilities. Trees may be grouped rather than equally spaced. Trees shall be planted at least 10 feet from driveways; 10 feet from streetlights; 10 feet from fire

hydrants; and in locations that maintain appropriate sight distances and that do not interfere with underground or overhead utilities.

- d. **Characteristics:** Drought tolerant, appropriate to the climate, resistant to disease, compatible with the character of the area, consistent with the scale of the roadway, and of a size that will not impair major public view corridors to and along the coast.
4. **Public Street and Access Connections.** The following standards apply to land divisions, and Minor Use Permits and Development Plans for development of more than one dwelling unit.
- a. **Public Access.** Except where infeasible, dedicate and improve public right-of-way easements for vehicular, bicycle, pedestrian, and equestrian connections to surrounding areas where they: (1) provide efficient and convenient links to adjacent neighborhoods, nearby schools, nearby recreational areas, and other nearby activity centers; (2) are shown on the Circulation Element map; or (c) are needed for adequate emergency access.
 - b. **Street Extensions.** Where feasible and where no adverse impacts to environmentally sensitive areas will occur, dedicate and improve public right-of-way easements for streets in order to provide access to adjacent parcels and create an interconnected circulation system.

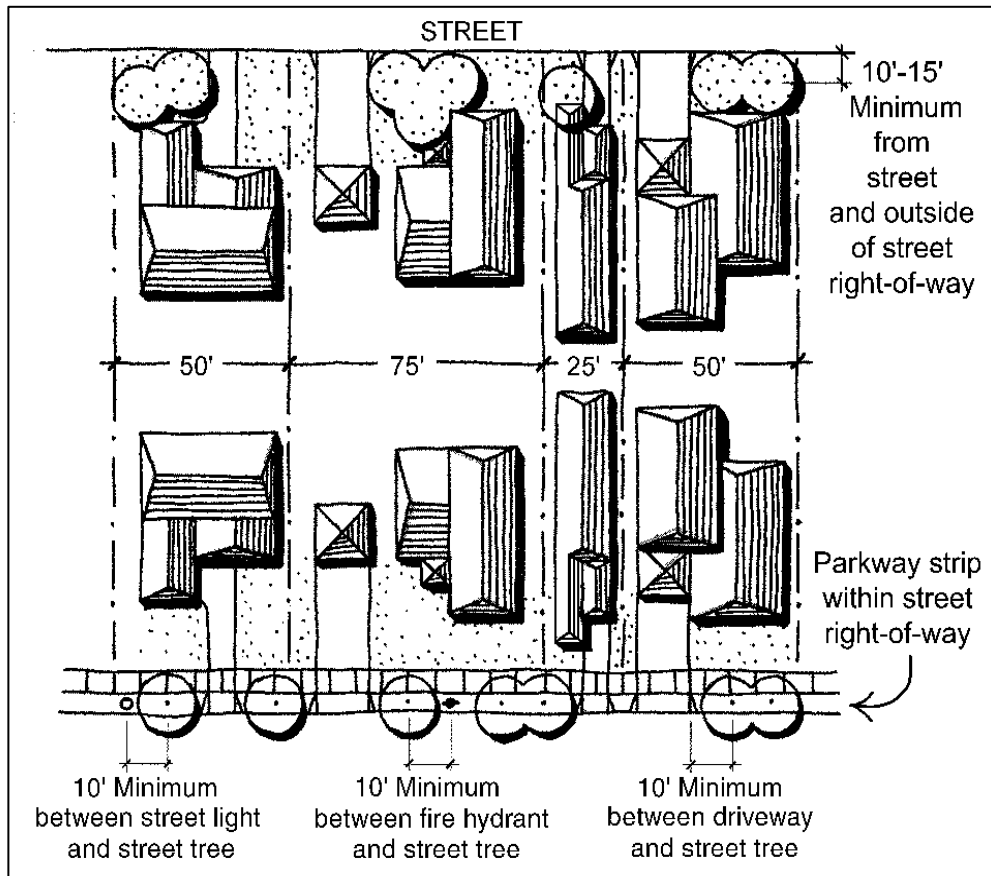


Figure 7-43: Street Tree Location

M. Residential Garage Size and Location

The following standards apply to land divisions, Minor Use Permits and Development Plans for new development that is located on lots less than one acre in area. The intent of the following standards is for garages to not dominate the structure as viewed from the fronting street (see Figure 7-44). Garages shall be located as follows:

1. On the rear portion of the site, or
2. On the front portion of the lot as follows:
 - a. The garage door shall not be directly visible from and face the fronting street (e.g., a side entrance garage), or
 - b. Where the garage door is directly visible from and faces the fronting street, its width shall not exceed 50 percent of the total width of the street-facing building facade. If the parcel width is too narrow to comply with this standard, the following alternatives may be approved by the review authority:
 - (1) Stacked or tandem parking, or
 - (2) A garage setback of at least five feet from the front plane of the residential portion of the building (the individual garage bays may be staggered if there is at least a five-foot setback between the rear-most bay and the front plane of the residential portion of the building), or
 - (3) If the preceding alternatives are not feasible, other design or decorative measures that accomplish the intent of this standard may be approved by the review authority.

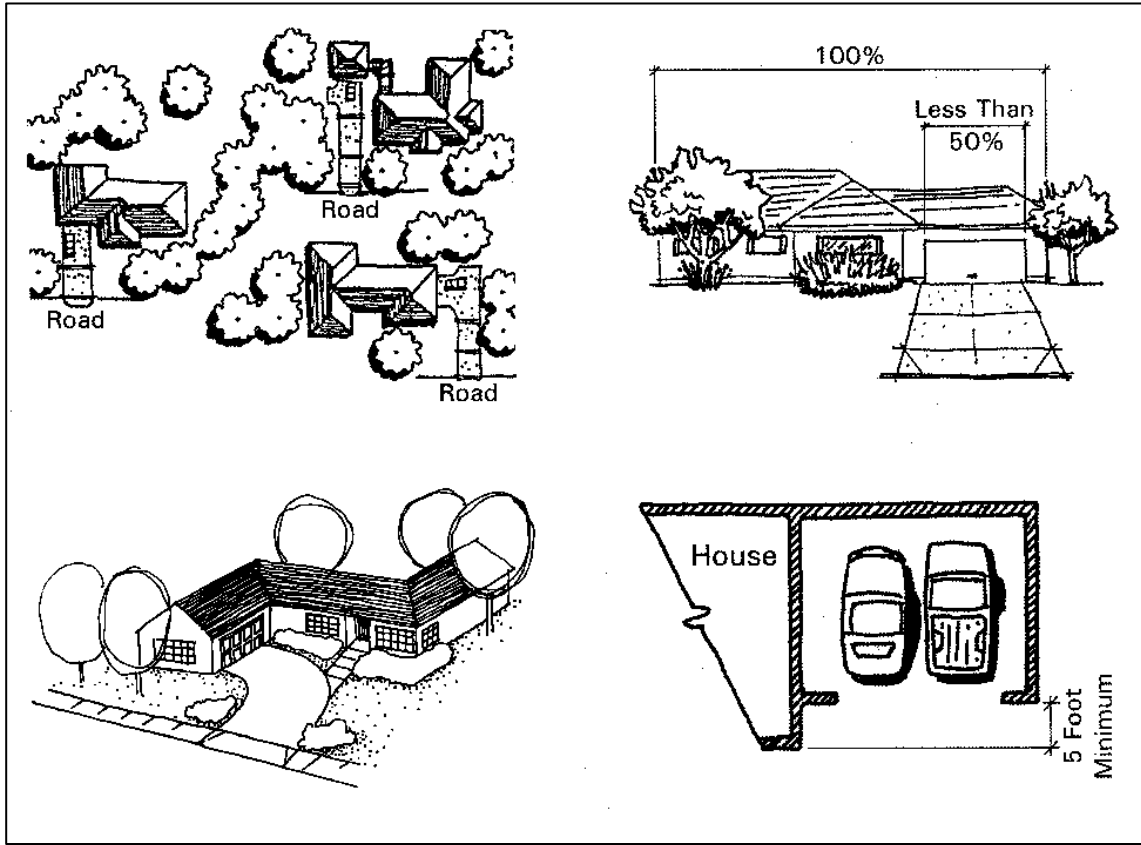


Figure 7-44: Residential Garage Size and Location

N. Historical Resources

1. **Historical Resources Evaluation.** Prior to issuance of permits for demolition or development, the County shall ensure that buildings or structures erected prior to 1970 on the subject parcel or any adjoining parcel are documented according to professional standards and their historical significance is evaluated. No permits shall be issued for any demolition, development, or other activity that would adversely affect the integrity of an officially designated Historic Landmark, historical buildings or structures eligible for the CRHR, or identified historical districts.

2. **Secretary of Interior’ Standards and Guidelines.** Projects that that would adversely affect the integrity of an officially designated Historic Landmark, historical buildings or structures eligible for the CRHR, or identified historical district shall be designed to comply with the Secretary of Interior’s Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings. The applicant shall retain a qualified professional architectural historian to conduct design review and ensure compliance with the Standards and Guidelines.

O. Paleontological Resources

1. **Paleontological Surveys.** If individual projects in areas of high paleontological sensitivity (i.e., the Pismo Formation; Figure 7-45) require grading, excavation, or trenching that would result in ground disturbance within previously undisturbed sediments, the following measures shall apply:
 - the applicant shall retain a qualified professional paleontologist to perform a pre-construction paleontological survey to visually inspect the ground surface for exposed fossils or traces thereof and to further evaluate geologic exposures for their potential to contain preserved fossil material at the subsurface.
 - The qualified Paleontologist shall have a Master's Degree or equivalent work experience in paleontology, shall have knowledge of the local geology and paleontology, and shall be familiar with paleontological procedures and techniques.
 - All fossil occurrences observed during the course of fieldwork shall be adequately documented and recorded during the survey. The data collected for each fossil occurrence shall include, at minimum, the following information: Universal Transverse Mercator (UTM) coordinates, approximate elevation, description of taxa, lithologic description, and stratigraphic context (if known). In addition, each locality shall be photographically documented with a digital camera.
 - The paleontologist shall assess the significance of any identified fossil resources, and all significant or potentially significant fossils shall be collected at the time they are observed in the field.
 - If the fossil discovery is too large to collect during the survey (e.g., a whale skeleton or bone bed) and requires a large-scale salvage effort, then it shall be documented immediately and the paleontologist shall consult with the County regarding a strategy for preservation or recovery.

2. **Paleontological Monitoring.** If a pre-construction survey identifies significant fossil resources, or if a qualified paleontologist determines the need for monitoring during construction, the following measures shall apply:
 - a qualified paleontologist shall observe excavation, grading, and/or trenching.
 - If a paleontological resource is discovered during monitoring, the paleontologist shall have the authority to temporarily divert the construction equipment around the find until it is assessed for scientific significance and collected if appropriate. The paleontologist shall notify the County within 24 hours of any such discovery, and the location shall be protected from further impact until the significance evaluation and any necessary recovery is completed. Work may not resume without approval of the paleontologist and County.

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- All significant fossils collected shall be prepared for curation in a properly equipped paleontology laboratory. Preparation shall include the careful removal of excess matrix from fossil materials and stabilizing and repairing specimens, as necessary.
- Following laboratory work, all fossils specimens shall be identified to the lowest taxonomic level, cataloged, analyzed, and delivered to an accredited museum repository for permanent curation and storage.
- The paleontologist shall prepare a technical report describing the results of the paleontological mitigation efforts, including a summary of the field and laboratory methods, an overview of the project area geology and paleontology, a list of taxa recovered, an analysis of fossils recovered and their scientific significance, and recommendations. A copy of the report shall be submitted to the County and the designated museum repository. The cost of fossil recovery, analysis, and curation shall be the responsibility of the individual Project proponent.

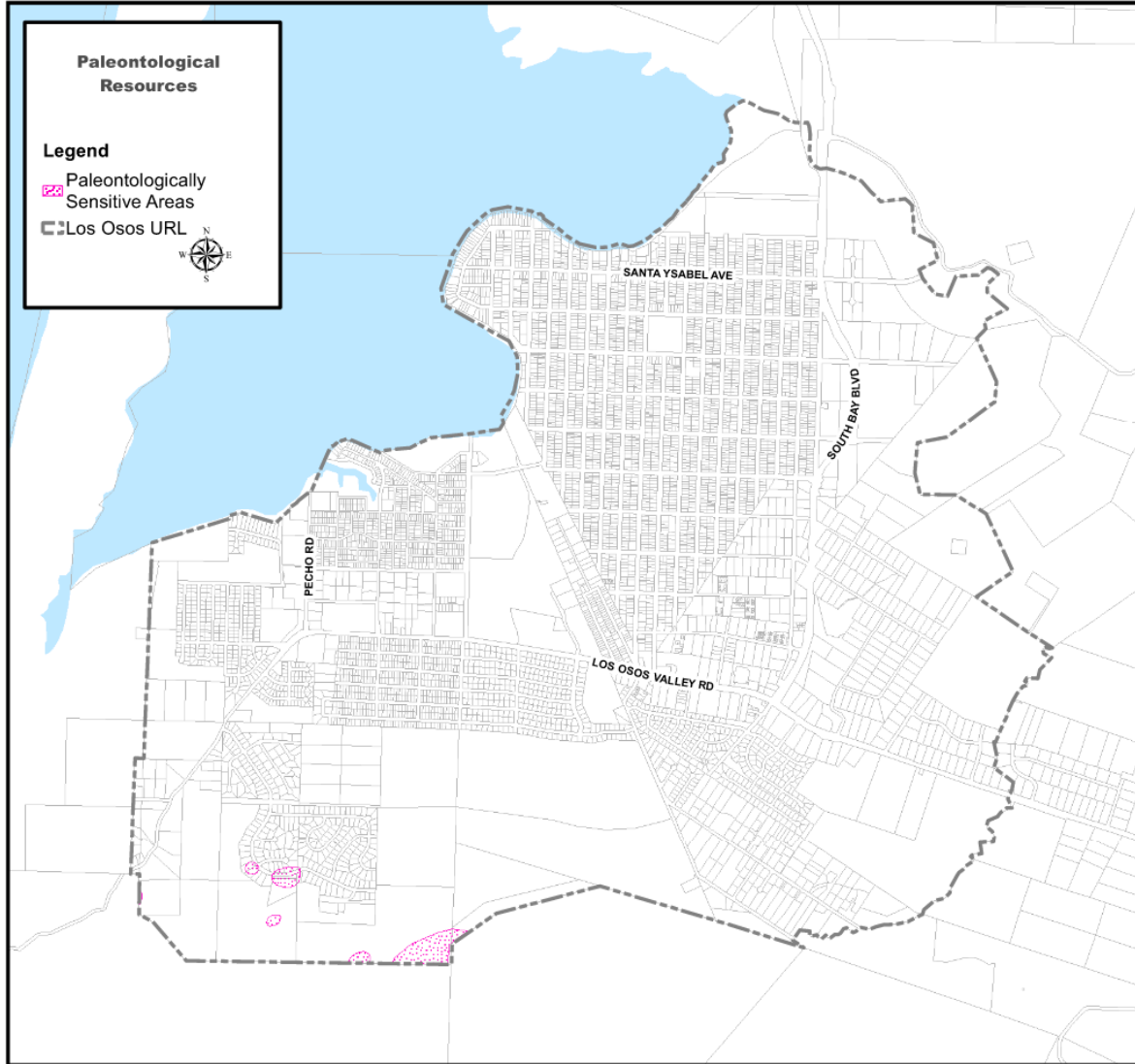


Figure 7-45: Paleontological Resources

COMBINING DESIGNATION STANDARDS

The following standards apply to lands in the Local Coastal Plan (LCP), combining designations, as listed below. If specific standards are not listed, the standards of Chapter 23.07 of the Coastal Zone Land Use Ordinance apply to the respective combining designations.

[Designation of properties in the Sensitive Resource combining designation does not in and of itself convey or imply any right of public use, access, trespass or violation of privacy. The same is true when the LUE/LCP identifies a need for open space preservation through easement, contract or other instrument.]

A. Morro Bay Shoreline (SRA)

1. **Residential Density, New Land Divisions.** Density shall be computed on the gross site area minus the portion that is identified as wetland.
2. **Wetland Setbacks.** New development shall be set back from the upland extent of wetland vegetation as shown in Table 7-4 and Figure 7-46. A biological survey performed consistent with Chapter 23.07 of the Coastal Zone Land Use Ordinance shall be used to determine the upland extent of wetland vegetation.

Table 7-4: Required Wetland Setbacks

LOCATION (See Figure 7-46)	MINIMUM SETBACK (FT.) ¹
West of Tract 316 (Butte Drive Residential Single Family)	100
Tract 316 (Butte Drive Residential Single Family category)	50
Butte Drive to Pecho Road	100
Pecho Road to Doris Avenue (south half of Cuesta inlet) Blocks 4 and 5 , Cuesta-by-the-Sea Tract)	75
North half of Cuesta inlet (blocks 13,14, and 35 Cuesta-by- the-Sea Tract)	50
Doris Avenue to Tract 40 near (1st street.)	75
Tract 40 (Along Pasadena Drive, Santa Lucia Ave.)	75 (may be adjusted ² but to no less than 50 feet)
East of 3 rd Street	50 (may be adjusted ² but no closer than 25 feet from the mean high tide line)
1. The required setbacks are minimum distances as measured from the upland extent of wetland/riparian vegetation. 2. Section 23.07.172 of the Coastal Zone Land Use Ordinance.	

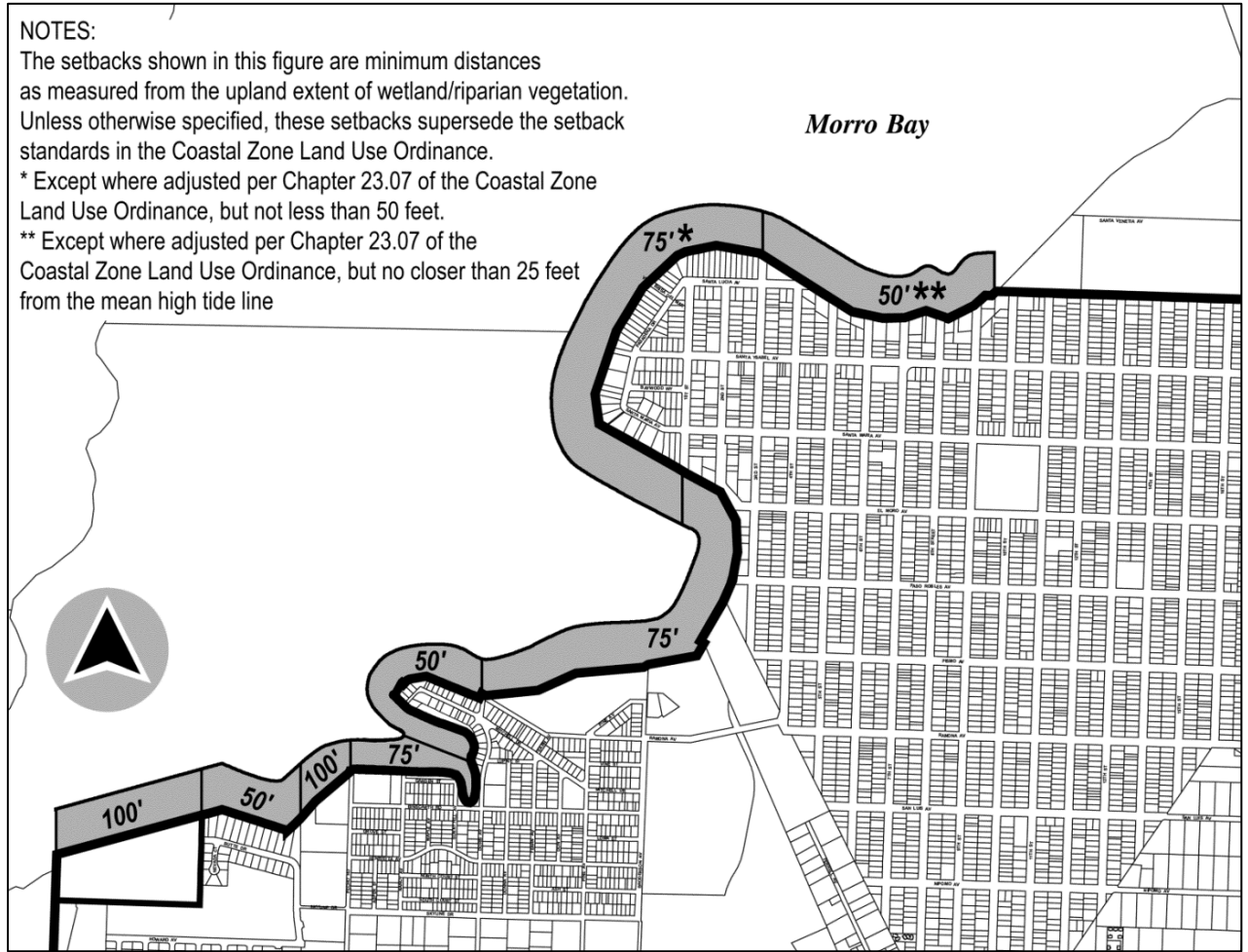
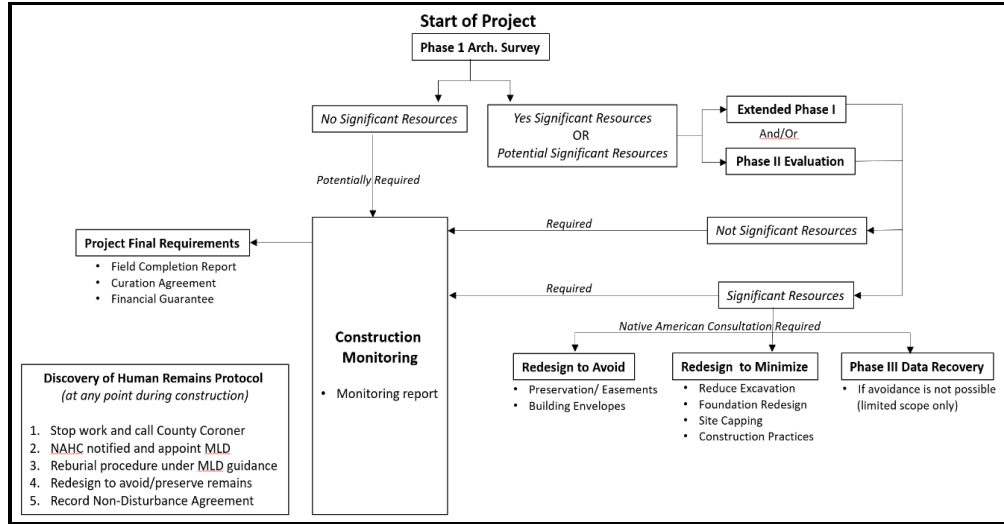


Figure 7-46: Wetland Setbacks

B. Archaeological Sensitive Areas

The Archaeological Sensitive Area (ASA) map in Los Osos has been revised to identify areas updated with highly sensitive cultural resources. The purpose of this updated map (Figure 7-47) and the application of the following procedures and requirements set forth in this section below is to streamline permit requirements for future developments and ensure the maintenance and protection of the County’s archeological and tribal cultural resources in Los Osos.

1. **Applicability of Standards.** The standards set forth in this section apply to all uses requiring a land use permit or construction permit located within the mapped ASA areas inside the urban reserve line as shown in Figure 7-47.
2. **Permit and Processing Requirements.** The land use permit requirements established by Chapters 23.03 (Permit Requirements), and 23.08 (Special Uses) are modified to include additional requirements for the ASA combining designation as follows:



a. **Initial Submittal:** The type of land use permit application to be submitted is to be as required by Chapter 23.03 (Permit Requirements), Chapter 23.08 (Special Uses), or by Planning Area standards.

(1) Development proposed within the boundaries of a known archeological site shall require a Minor Use Permit/ Coastal Development Permit (MUP/CDP).

(2) If no land use permit is required, the following standards in this section are still applicable for a construction permit application.

b. **Application Content:** Land use and construction permit applications for projects within the ASA shall include the following Archeological Resource Assessment report(s) as applicable, and evidence of measures proposed to protect the sensitive resources as outlined in Subsection (1) in this section.

(1) **Archaeological Resource Report.** Written reports shall be prepared consistent with the report format requirements contained in the State Office of Historic Preservation Archeological Resource Management Reports (ARMR): Recommended Contents and Format guidelines. A single report may incorporate more than one Phase where appropriate to minimize redundancy and expense. All reports shall be filed with appropriate State information center.

The report(s) shall be prepared, at the applicant's expense, by a qualified archaeologist, either from the County's list of archaeological consultants or by a member of the Register of Professional Archaeologists, meeting the Secretary of the Interior's Professional Qualification Standards, who is familiar with California Central Coast archaeology. The applicant shall also be responsible for paying for the costs of data recovery and curation of recovered materials, if applicable.

If the assessment determines that a proposed development may have significant effects on existing, known, or suspected archeological resources, a mitigation plan shall be prepared by a qualified archeologist. The purpose of

the plan is to protect the resource and highest priority shall be given to avoiding disturbance of sensitive resources. The mitigation plan shall be submitted to and approved by the Environmental Coordinator and considered in the evaluation of the development.

Submittal of the listed report(s) below, to the Environmental Coordinator, is required prior to a land use permit application being deemed completed. These report(s) are also required at the time of construction permit application in order to determine the applicability and/or requirement for a MUP/CDP before continued processing of the construction permit.

- (i) **Phase I Archeological Resource Assessment (Required).** All project applications shall include at minimum, a Phase I Archeological Resource Assessment which is a preliminary site survey and record search with Central Coast information Center (CCIC). The survey shall be conducted by a County-qualified archaeologist knowledgeable in local Native American culture. The County will provide pertinent project information to the Native American tribal groups.
 1. *If the site survey findings are negative*, no further review is necessary. However, monitoring maybe required at the discretion of the County to ensure no impacts to potential resources during construction.
 2. *If the site survey reveals information indicating the presence or proximity to archeological resources or it is determined by the County there is a likelihood for the site to contain archeological resources*, an Extended Phase I or Phase II Evaluation shall be required unless either of the following apply:
 - (a) There is substantial evidence (such as existing evaluations that adequately characterize the resource), absent the Phase II, that the project will have a significant impact on archaeological resources and those impacts cannot be avoided pursuant to Section C of this section, in which case a Phase III Data Recovery Plan may be prepared without a Phase II Evaluation; or
 - (b) The Phase I survey provided reasonable determination of the resource location(s) and all development is located to avoid impacts to those identified resources, in which case no further archaeological evaluation is necessary. Monitoring may still be required at the discretion of the County to ensure no impacts to potential resources during construction.
- (ii) **Phase II Evaluation of Archaeological Resources.** A Phase II Evaluation shall be prepared with the goal of determining site extent and spatial variability (both vertical and horizontal), evaluating the

site's significance pursuant to California Code of Regulations, Title 14, State CEQA Guidelines, 15064.5, and evaluating resource protection measures pursuant to Subsection C of this section, as applicable. A Phase II Evaluation may include test excavations when adequate data from previous reports are not available to assess a site's significance; however, prior to recovering any archaeological materials for testing and/or carbon dating, the archaeologist shall consider the appropriate disposition of materials in consultation with the Planning Director and the property owner.

1. *If no significant archeological resources found*, no further reports are necessary unless the Planning Director determines that there is substantial evidence in the record that significant resources may be affected by the project. Conditions recommended by the archaeologist and the Native American tribal groups through the consultation process shall be applied to the project as appropriate.
2. *If significant archeological resources are found*, the Phase II Evaluation plan shall include consideration of the avoidance measures required in Subsection C.1. If significant resources cannot be avoided, a Phase III Data Recovery Plan will be required.
3. *The Planning Director reserves the right to decide*, based on substantial evidence, that non-significant archaeological resources can be significant tribal cultural resources pursuant to PRC Section 21074. In making such a determination, the Planning Director shall consider input from, and the importance of the resource to, the Native American tribal groups.

(iii) **Phase III Data Recovery Plan.** A Phase III Data Recovery Plan shall be prepared to evaluate a project's unavoidable impacts on significant archaeological resources and shall set forth the reasons, based on substantial evidence, why avoidance and impact minimization measures required in Subsection C are not feasible. Data recovery excavation shall not incur additional impacts to the archeological resources and if applicable, previous data collected for Phase II may be credited towards the overall sampling required. Impacts to an archeological site and significant resources shall not exceed 10% of the cultural site area on a project site in order to qualify for a typical proportional sampling mitigation in Phase III.

1. *Report Guidelines.* The plan shall incorporate results of Phase II study with detailed information considering proportional sample size related to the extent of impact, existing body of documentation and significance of the resource. The Phase III Plan shall include treatment of resources with cultural appropriate dignity taking into account the tribal cultural values and meanings,

including but not limited to protection of the cultural character, integrity, traditional use and confidentiality of the resource.

2. *Content:* A Data Recovery Plan shall include at minimum: dates of fieldwork and personnel qualifications, level and location(s) of excavation needed, laboratory processing and analysis protocol, detailed notes, photographs and drawings of all excavation and soil samples, curation and cost estimates.
3. *Timing:* The Data Recovery Plan shall be submitted and approved by Environmental Coordinator before fieldwork can begin. All excavation and recovery activities shall require Native American monitoring. Curation or a financial guarantee for data analysis filing and curation must be demonstrated to the County before land use permit approval, or prior to final building inspection, to allow the project to move forward.

(2) **Monitoring Plan.** A monitoring plan shall be submitted to the County prior to issuance of construction permit, prepared by a County-approved archaeologist, for review and approval by the Environmental Coordinator. The intent of this Plan is to outline monitoring guidelines and protocol for all earth-disturbing activities in areas identified as potentially sensitive for cultural resources. The monitoring plan shall include at a minimum:

- (i) List of personnel involved in the monitoring activities;
- (ii) Inclusion of involvement of the Native American community and culturally affiliated Native American community, as appropriate;
- (iii) Description of how the monitoring shall occur;
- (iv) Description of frequency of monitoring (e.g., full-time, part time, spot checking);
- (v) Description of what resources are expected to be encountered;
- (vi) Description of circumstances that would result in the halting of work at the project site (e.g., What is considered “significant” archaeological resources?);
- (vii) Description of procedures for halting work on the site and notification procedures;
- (viii) Description of monitoring reporting procedures; and
- (ix) Description of provisions defining education of the construction crew and establishing protocol for treating unanticipated findings. This training will include a description of the types of resources that may

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be found in the project area, the protocols to be used in the event of an unanticipated discovery, the importance of cultural resources and sacred sites to the Native American community and culturally affiliated Native American community, and the laws protecting significant archaeological and historical sites.

- (x) The Native American monitor or a tribal representative should participate in the cultural sensitivity training for the project participants.
 - c. **Environmental Determination:** Pursuant to CEQA Section 15183, projects complying with all standards set forth in this section will be consistent with the community plan certified EIR. Failure to meet all the standards will require additional environmental review necessary to examine whether there are project-specific significant effects which are peculiar to the project or its site.
 - d. **Required Findings:** Any land use permit application within the ASA shall be approved only where the Review Authority can make one of the following required findings.
 - (1) *The site design and development incorporated adequate measures to fully avoid impacting archeological resources and ensure that archeological resources will be acceptably and adequately protected, or*
 - (2) *The site design and development cannot be feasibly changed to avoid intrusion into or disturbance of archaeological resources. The project design and construction incorporated adequate site measures and methodology to minimize and mitigate impacts to identified archeological resources.*
3. **Development Standards.** All new development shall be considered compliant with the community plan when they incorporate all site planning and design features necessary to demonstrate (in order of priority); avoidance of impacts to sensitive resources, minimization of impacts through careful siting, considerate design and construction practices if avoidance is not possible, and as a last resort, excavation and recovery of those resources as mitigation for unavoidable impacts.

All development within ASA shall include the following minimum standards:

- a. **Resource Protection:** Impacts to significant archaeological resources and tribal cultural resources shall be avoided to the extent feasible. In all cases where significant archaeological resources or tribal cultural resources are identified, the following avoidance measures shall be considered:
 - (1) **Avoidance/ Preservation in Place.** These protection measures include but not limited to, revising the project design or location to avoid the resources entirely. Avoidance means relocation of all development, including grading, utilities, foundations, drainage facilities, and major landscaping. Pools, basements, or any project feature requiring extensive excavation that would

impact significant cultural resources is not allowed. No land division of a parcel containing archaeological resources shall be permitted unless all proposed building sites are located entirely outside of the archaeological site.

- (2) **Protection of Resources.** If full avoidance is not feasible, sensitive areas shall be placed under culturally appropriate protection and management criteria such as permanent conservation easements or other interests in real property. Public access and site disturbance work including habitat or site restoration and revegetation work shall be kept to a minimum. Other feasible methods of avoidance and protection of the resource shall be considered and approved by the Environmental Coordinator.
- (3) **Minimize Impacts to Significant Resources.** If full avoidance, preservation or protection in place is not feasible, project redesign may be required to reduce impacts to less than significant level. Project redesigns shall include and not limited to, any of the following:
 - (i) **Foundation Redesign.** Foundation design may need to be altered to minimize site disturbance. “Side-by-side” comparisons of disturbance and calculations of volume of cultural materials affected will be submitted to show the revised foundation design will result in the least disturbance. The approved redesign(s) shall be verified by the County prior to construction work.
 - (ii) **Site Capping.** Where project must encroach within the identified cultural resource(s), incorporation of fill shall be considered. Only sufficient fill shall be placed over the site so as to allow native soils to remain undisturbed (e.g. 18 inches for residential footings, 6-8 inches for driveway construction). Clean, sterile fill, consisting of a layer of other conspicuous material (e.g. fill of a noticeable different color and texture than native soil) shall be placed over the native soil prior to placement of any other clean fill material. Native soils shall not be disturbed or compacted (or compacted to the most limited extent necessary) within the cultural resource areas. The use of fill shall be the minimum necessary to protect the resource. Additional height (up to 24”) shall be allowed as follows:

Fill	Additional Height Allowed
12”	6”
18”	12”
24”	18”

- (5) **Phase III Data Recovery Plan.** Where development is likely to adversely impact any important or unique archeological resources and it is not feasible

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to avoid or preserve resources, total and partial recovery through excavation may be considered the only feasible mitigation measure. A Data Recovery Plan shall be prepared per the guidelines set in Section 2b(iii) and submitted to the Environmental Coordinator for review and approval before work can continue.

- b. **Construction Practices.** Projects with potential impacts to identified archeological resources shall include the following into the construction documentation submittal.

(6) **Project Limit Area.** Plans submitted shall clearly show a ‘*project limit area*’ established in a manner that avoids impacts to resources to the maximum extent possible, located on the least sensitive portion of the site, and safeguards the resources on site. The project limit area shall include all areas on and off site where ground disturbance will occur including access road grading, utility trenching or similar works related to the project.

(7) **Construction Methodology.** Specific construction methods may need to be employed that provide for maximum protection of resources. This may include and not limited to:

- (i) Grubbing shall be limited to the first six inches of top soil and compaction can be done with a heavy rubber tire machinery. Compaction should be done with care as not to rip into the soil with aggressive wheel turns.
- (ii) Trenching for utilities shall be limited so underground services are grouped as closely as possible, to minimize native ground excavations. Trenching work must be monitored.
- (iii) Smaller excavating equipment is preferred to allow for controlled monitored excavation. Excavations in identified sensitive areas shall be done in shallow increments as recommended by the archeologist. If significant cultural resources, such as human remains are present at a site, hand excavation may be warranted.
- (iv) Machineries should have rubberized, non-tracked wheels that will minimize disturbance of the native soils or a protective barrier such as metal sheets shall be used as a protective layer between the construction machinery and the native ground.
- (v) Clean, sterile fill of a noticeable distinct color than native soil can be placed over project. Depth of fill should be sufficient to prevent foundation elements from extending into native soil. Fill shall be placed from the outwardly portion of the site so machine tires will roll on placed fill instead of native ground.

- (vi) Alternative foundation design such as floating mat slab that will minimize excavations and compaction. Capping of significant resources is encouraged with placing of concrete slabs or flatwork.
- (vii) Graded native soils shall be monitored, screened as applicable and balanced on site, as much as possible. Exporting of dirt is discouraged and off-site location for hauled materials shall be disclosed in a County-approved monitoring plan.

If applicable, stockpiled materials waiting to be screened shall be covered in a secure manner including protection from rain, wind, and erosion.

- (viii) If inadvertent discovery is found on site, a minimum 25-foot buffer around the find shall be installed. Work in other areas may proceed after getting approval from the County.

- (8) **Construction Monitoring.** During all ground disturbing construction activities, the applicant shall retain a qualified archaeologist (approved by the Environmental Coordinator) and culturally affiliated Native American Representative to monitor all earth disturbing activities including offsite grading /trenching work for access and utilities per the approved monitoring plan. If any significant archaeological resources or human remains are found during monitoring, work shall stop within the immediate vicinity of the resource (precise area to be determined by the archaeologist and the Native American Monitor in the field) until such time as the resource can be evaluated by an archaeologist and any other appropriate individuals. The applicant shall implement the mitigation as required by the Environmental Coordinator.

The archaeologist shall verify implementation of the Monitoring Plan during any ground disturbing activities. A final report on compliance shall be submitted by the archaeologist prior to final inspection.

- (9) **Changes to Design.** If significant archaeological resources are identified on site, the applicant’s construction drawings shall demonstrate incorporation of all revised design and/or mitigation measures approved by the Environmental Coordinator to avoid significant impacts or reduce to a less than significant level. If construction is underway, all work shall stop until a redesign is reviewed and approved via After-Issuance Change’ permit from the County

- c. **Project Final Requirements.** After the completion of construction monitoring and any Phase III data recovery excavations, the applicant shall submit the following to the Environmental Coordinator prior to final inspection or occupancy (whichever comes first):

- (10) **Field Completion Report.** Archeologist-prepared report summarizing all monitoring and/or mitigation measures conducted, field findings, and construction compliance. The report shall be provided in ARMIR format describing field tasks by date, location, and results. The report shall include

field methods, results and photographs, artifact analysis and interpretation, updated site maps and/or appropriate State site record forms. The final report shall be submitted electronically to the County, the property owner, and the State site record/information center.

- (11) **Financial Guarantee.** If the analysis included in the Phase III Data Recovery Plan or inadvertent findings is not complete at this milestone, the applicant shall provide to the County proof of obligation to complete the required analysis and file final reports.

4. **Consultation with Native American Tribal Groups.** Consistent with Section 15183, the incorporation of standards set forth in this section are intended to streamline the review of projects within the ASA combining designation in Los Osos. Pursuant to PRC Section 21080.3.1, AB52 consultation with Native American tribal groups are considered fulfilled when a project complies with all standards set forth herein. In addition to the archeological report(s) and development standards set in this section, the Director of Planning can provide notifications to the California Native American tribe(s) that may be traditionally and culturally affiliated with the project area(s) to initiate additional consultation when any of the following below occurs:

- a. The project's Phase I Archeological Assessment reports a positive finding and additional Phase II and/or Phase III is warranted.
- b. There is inadvertent finding during project development i.e. human remains, significant cultural resource or similar.
- c. The project has to incorporate *additional* mitigation measures to avoid and/or minimize impacts to identified significant archeological resources.
- d. The Planning Director decides, based on substantial evidence, that a non-significant archeological resource can be significant tribal cultural resources pursuant to PRC Section 21074.

5. **Discovery of Human Remains.** If human remains are encountered during construction, the procedures outlined by the Native American Heritage Commission (NAHC), in accordance with Section 7050.5 of the California Health and Safety Code (HSC) and Section 5097.98 of the Public Resources Code (PRC), would be followed, as well as the provisions of the CZLUO 23.05.150. A general summary of these provisions and best practices are as follows:

If it is determined or suspected that a discovery includes human remains:

- a. Work in the immediate vicinity (within 50 feet) of the find would cease.
- b. The San Luis Obispo County Coroner shall be contacted immediately.
- c. In addition, the County Environmental Coordinator shall be notified as soon as possible. The County will also issue a "Stop Work" for any construction activities that have the potential to disturb the resource or for all activities on a site if

additional resources are suspected to be present and to insure compliance with CZLUO 23.05.150.

- d. As a courtesy, the archaeologist should also notify the NAHC.
- e. The remains should be secured immediately with steel plating cover, or similar. No work is to proceed in the discovery area until consultation procedures are complete, procedures to avoid or recover the remains have been implemented, and the “Stop Work” has been lifted and the owner/developer has been notified that all County and State required provisions have been satisfied.
- f. The Coroner has 2 working days to examine the remains after being notified in accordance with HSC Section 7050.5. If the coroner determines that the remains are Native American and are not subject to the to the coroner’s authority, the coroner has 24 hours to notify the NAHC of the discovery.
- g. The NAHC should immediately designate and notify the Native American Most Likely Descendent (MLD), who has 48 hours after being granted access to the location of the remains to inspect and make recommendations for proper treatment of the remains.
- h. The archeologist and Native American MLD should meet with the owner /developer, other design professionals, as well as with County staff, to plan for and implement the recommended treatment, which may include design and construction modifications to avoid further impacts.
- i. A Covenant of Non-Disturbance of Native American Heritage Site may be required by the County to prevent future disturbance of the remains identified.

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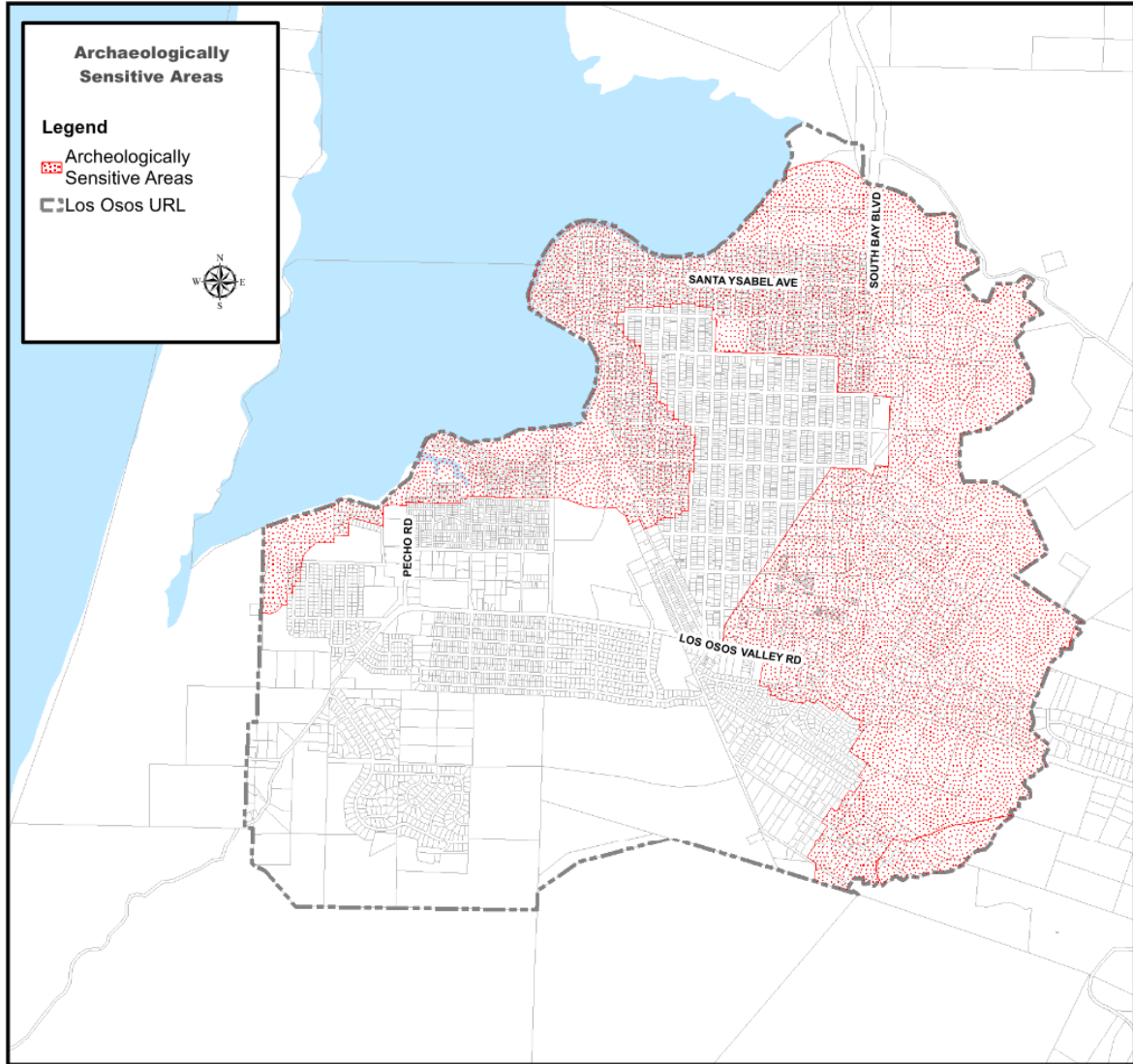


Figure 7-47: Archaeological Sensitive Area

LAND USE CATEGORY STANDARDS

A. Commercial Retail (CR)

The following standards apply only to lands within the Commercial Retail land use category in the specified areas.

1. **Drive-Through Facilities.** No new drive-through facilities shall be established.
2. **Central Business District and Baywood Commercial Area, Permit Requirement.** Notwithstanding the requirements of the Coastal Zone Land Use Ordinance, new development may be authorized in the Central Business District and Baywood Commercial Area (see Figure 7-48) through Minor Use Permit approval in lieu of a Development Plan when the project complies with applicable planning area standards and design guidelines, except in any of the following circumstances:
 - a. When modifications or waivers from Coastal Zone Land Use Ordinance standards are required.
 - b. When a Development Plan is specifically required by the Planning Area Standards.

This standard shall not be construed to require Minor Use Permit approval where the Coastal Zone Land Use Ordinance otherwise allows ministerial approval through the Plot Plan or Zoning Clearance process.

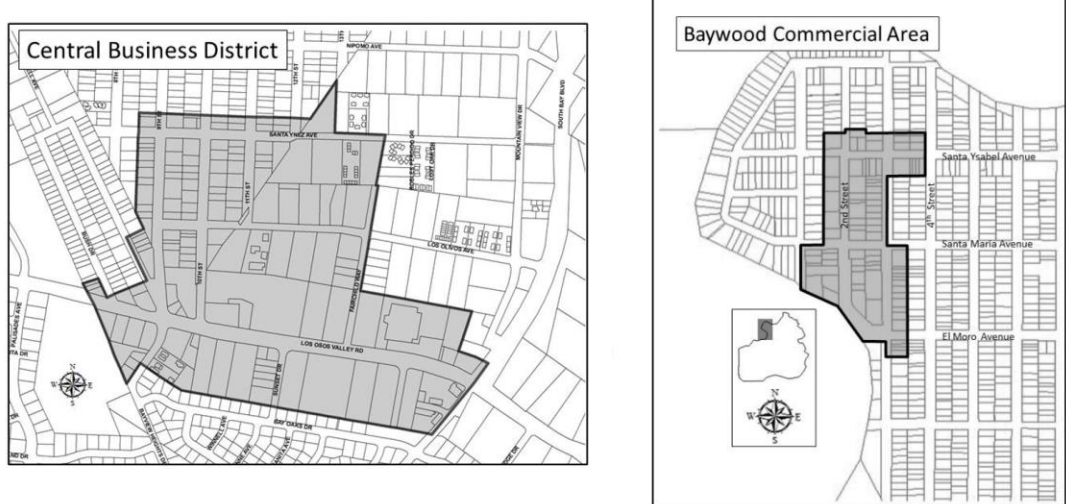


Figure 7-48: Los Osos Central Business District and Baywood Commercial Area

3. **Central Business District and Baywood Commercial Area, Parking.** (see Figure 7-48), the number of on-site parking spaces provided shall be no more than that required by Chapter 23.04 of the Coastal Land Use Ordinance. Community parking areas within a 1/4-mile radius and on-street parking within the same block may be used to satisfy parking requirements.

4. **Central Business District.** The following standards apply within the central business district, as shown in Figure 7-48:
 - a. **Height.** Maximum building height shall be 35 feet.
 - b. **Mixed-Use Development.** This standard is intended to encourage provision of a mixture of residential and non-residential uses on the same site, to encourage provision of affordable and senior housing in close proximity to shopping and services, and to increase economic and social activity downtown.
 - (1) **Residential Uses.** Residential development shall be subject to the standards in Chapter 8 of the Coastal Zone Land Use Ordinance--Residential Uses in Office and Professional or Commercial Categories--except that where those standards conflict with the following standards, the following standards shall prevail.
 - (2) **Site Coverage.** Residential development, excluding garages, shall comprise no more than 50 percent of the total floor area of the entire mixed-use site (residential and non-residential), and no more than 60 percent of the total floor area of the entire mixed-use site for development that meets the housing affordability standards in Chapter 23.04 of the Coastal Zone Land Use Ordinance.
 - (3) **Floor and Open Area.** The maximum floor area and minimum open area requirements in Chapter 4 of the Coastal Zone Land Use Ordinance shall not apply. Instead, the land use permit shall require an amount of private open space and common area for privacy, recreation, light, and air that is appropriate for the nature of the project.
 - (4) **Residential Density.** Maximum residential density shall be 15 dwelling units per acre, calculated using the acreage of the entire mixed use site. The density of senior citizen housing shall be as specified in the following Subsection (vi).
 - (5) **Detached Residential Development.** Residential development that is not attached to the non-residential use may be approved only if all of the following are satisfied, in addition to the preceding standards for mixed-use development:
 - (i) **Location.** Residential development shall be located mainly behind or on the second floor of the primary non-residential use(s) on the same site.
 - (ii) **Site Coverage – Separate Parcel.** If residential uses are developed on a separate parcel, that parcel shall comprise no more than 50 percent of the parcel area of the total mixed use site.

- (iii) **Agreement for Non-Residential Use – Separate Parcel.** Residential uses may be developed on a parcel that is separate from the one developed with non-residential uses. In this circumstance, the owner of the parcel to be developed with non-residential uses shall enter into an agreement with the County to prohibit any future residential development on that parcel.
 - (iv) **Side and Rear Setbacks.** Where the side or rear yard of residential development is adjacent to a non-residential land use category, the minimum setback for the residential development shall be as specified in Chapter 4 of the Coastal Zone Land Use Ordinance for side and rear setbacks, as applicable, in Commercial and Industrial categories adjacent to a residential category/residential use.
 - (v) **Pedestrian Connections.** Mixed use development shall include, where possible, convenient pedestrian connections between residential and retail commercial uses on the site.
- (6) **Senior Citizen Housing.** Senior citizen housing is subject to the following standards, in addition to the preceding mixed-use development standards. Senior citizen housing consists of either a) residential development that is specifically designed to meet the physical and social needs of persons aged 62 and over; or b) residential development consisting of at least 35 dwellings specifically designed to meet the physical and social needs of persons aged 55 and over.
- (i) **Residential Density.** Maximum residential density shall be 19 dwelling units per acre calculated using the acreage of the entire mixed-use site.
 - (ii) **Parking.** Parking spaces shall be provided at a ratio of 0.75 space per dwelling unit in accommodations for independent living, and 1 space per 3 dwelling units in assisted living accommodations.
 - (iii) **Design.** Projects shall be sensitively designed to meet the special needs of senior citizens, especially with regard to: general safety; safe and convenient pedestrian access on gentle slopes, both within the project and connecting to community services and facilities; recreational choices; environmental amenities; social interaction; and integration with the larger community.
- (7) **Site Design.** New development shall facilitate pedestrian movement and activities and bicycle travel through design of buildings, parking areas, landscaping, and streetscapes. Design measures shall include the following and are conceptually illustrated in Figure 7-49:

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- (i) Locate building entry facades primarily adjacent to, but no more than 5 feet from the sidewalk along front and street-corner side property lines, or adjacent to interior pedestrian spaces with access to streets.
- (ii) Landscape all pedestrian spaces. Provide public gathering spaces with benches on the site. Provide conveniently located bicycle racks throughout the site.
- (iii) Encourage shared parking among businesses.
- (iv) Locate landscaped parking areas to the rear or side of non-residential buildings and design the parking areas to be integral with (not dominating) the buildings.
- (v) Provide convenient connections between parking areas, businesses, and adjoining properties through pedestrian-oriented and scaled spaces.
- (vi) The number, location and design of driveways shall function in accordance with the planned center median on Los Osos Valley Road as recommended in Chapter 5 of the Los Osos Community Plan.
- (vii) No building service facades shall face Los Osos Valley Road.
- (viii) Where feasible and where adequate right-of-way exists, sidewalks shall provide a clear walking lane at least eight feet wide, not including any areas needed for street trees, street furniture, newspaper racks, and the curb.

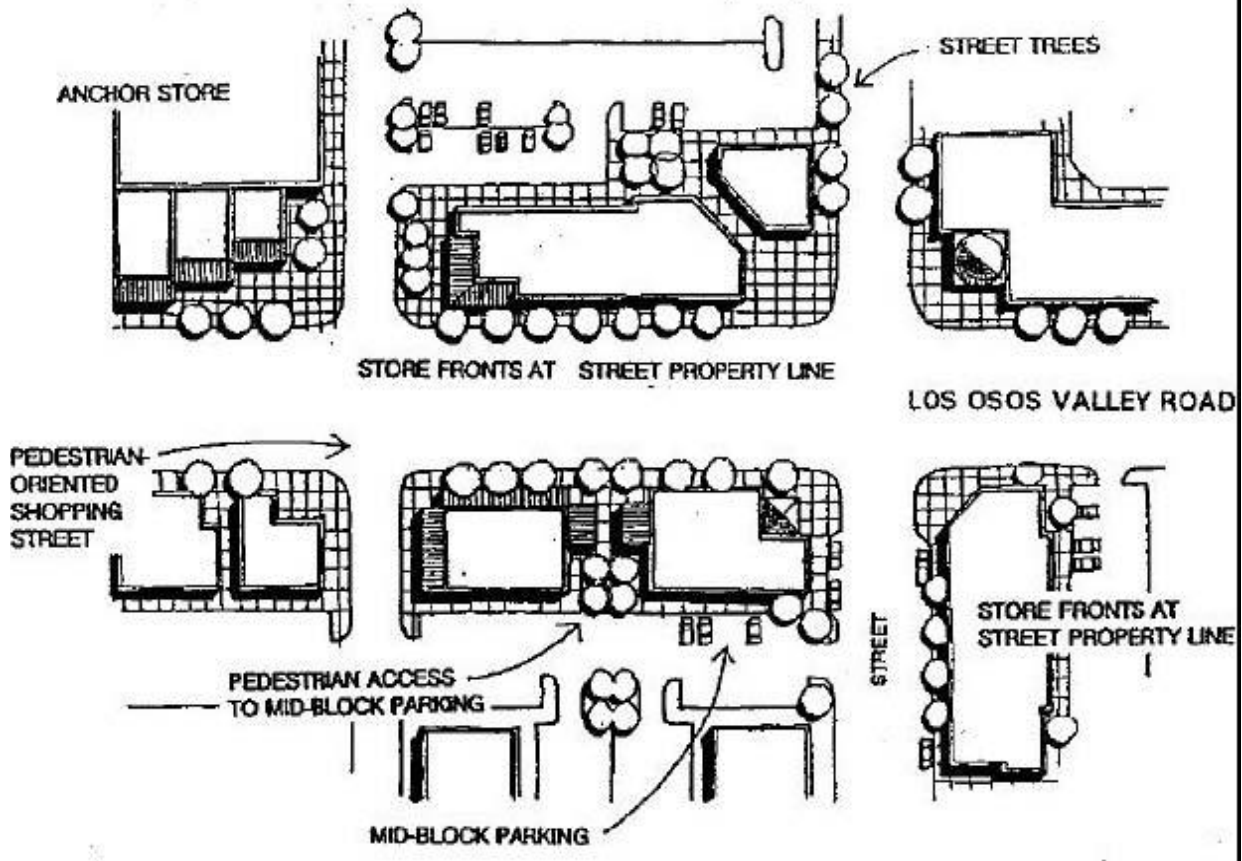


Figure 7-49: Pedestrian-Oriented Design Concept

- (8) **Drainage Basins.** Drainage basins in new development shall be placed either
 a) underground; or b) on the surface if designed for recreational or other public use and attractively landscaped.

c. **Design Guidelines – Central Business District**

Ground Floor Uses

In order to attract customers and promote pedestrian activity, retail uses are encouraged on the ground floor fronting the street, while office, residential and other non-retail uses should be located on the upper floors or on the rear portion of the site.

Building Design

The design of new construction shall be pedestrian-oriented and have a human scale that is compatible with the scale of existing development in the Central Business District. Preferred design measures include the following:

- *Articulation of building facades to create relief and visual interest by using architectural elements such as awnings and projections, trellises, detailed parapets, and arcades.*

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- *Locations of building entries within recessed entry bays to create transitional spaces between the street and buildings.*
- *Use of overhangs and awnings. Use of balconies over transitional spaces.*
- *Use of transparent glass windows or doors that together comprise more than 50 percent of the entry facade at ground level in order to allow pedestrians to see inside.*
- *Placement of store entrances/display windows at frequent intervals such as 25 feet in order to maintain visual interest for pedestrians. (see Figure 7-49).*
- *Building facades or public spaces should occupy most or all of the site frontage, except where infeasible due to sensitive vegetation or other physical or environmental constraints.*
- *Sidewalks along Los Osos Valley Road shall be in accordance with County public improvement standards. Recommended materials for pathways and areas outside the public right-of-way are brick, concrete pavers and concrete.*

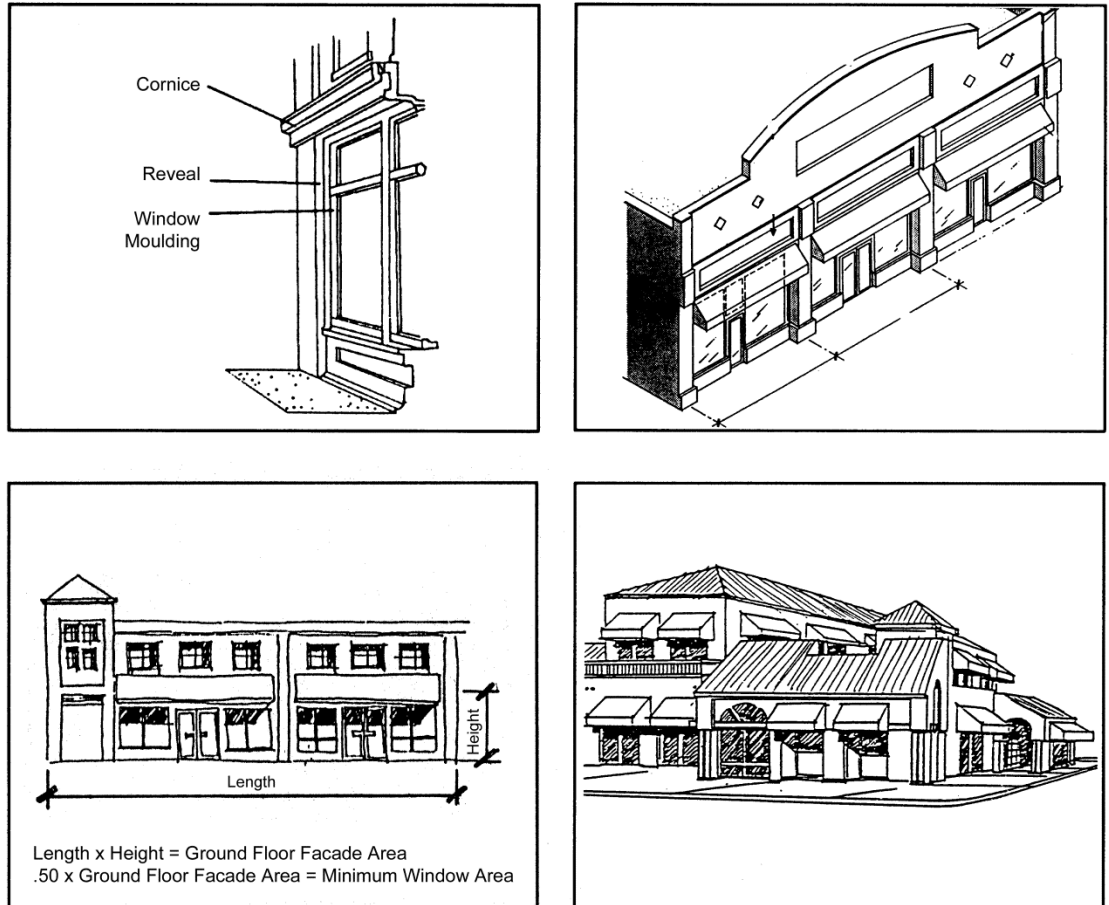


Figure 7-50: Example of Façade Building Design

5. **Baywood Commercial Area (Special Community).** The following standards apply within the Baywood Commercial Area as shown in Figure 7-51.



Figure 7-51: Baywood Commercial Area

- a. **Limitation on Use.** All allowable uses are permitted in accordance with Coastal Table O, Part I of the Land Use Element, except as follows: auto, mobile home and vehicle dealers and supplies; and food and kindred products as a primary use.
- b. **Height.** Maximum building height shall 25-feet, except where a lower height limit is established (see Figure 7-40).
- c. **Signs.** Freestanding signs, other than monument signs, are not permitted. Monument signs shall not exceed a height of six feet and a sign area of 20 square feet.
- d. **Sidewalks on 2nd Street.** Sidewalks shall include a minimum clear walking lane of six feet in width, and a minimum four-foot wide parkway between curb and sidewalk.
- e. **Sidewalks on Other Streets.**
 - (1) On street frontages other than 2nd Street, sidewalks shall be a minimum four feet wide, with a minimum four-foot wide parkway between curb and sidewalk.

- (2) Additional width may be needed to accommodate proposed street furniture, or as needed to comply with the requirements of the Americans with Disabilities Act (ADA).
 - (3) These requirements for sidewalk or parkway width may be modified at the discretion of the review authority in consultation with the Department of Public Works through a Minor Use Permit (unless a Development Plan is otherwise required), based upon site-specific right-of-way and topographic constraints.
- f. **Setbacks and Parking Location, 2nd Street and Street-Corner Sites.** Locate building entry facades primarily adjacent to, but no more than five feet from the sidewalk along front and street-corner side property lines adjacent to 2nd Street, or adjacent to interior plazas with access to streets. Locate landscaped parking areas to the rear or side of nonresidential buildings. Design the parking areas to be integral with (not dominating) the buildings.
- g. **Bay Access.** New development adjacent to the bay shall provide improved public access to the bay where feasible and consistent with protection of natural resources.
- h. **Mixed Use.** Single-family and multi-family dwellings are allowable on the same site as non-residential development as follows:
- (1) Mixed-use projects shall be in accordance with the standards in Chapter 23.08 of the Coastal Zone Land Use Ordinance for Residential Uses in Office and Professional or Commercial Categories, except that maximum residential density is 15 dwelling units per acre, calculated using the acreage of the entire mixed use site (residential plus non-residential).
 - (2) **Additional standards applicable to Area “A” as shown in Figure 7-51.** The following standards supersede any conflicting standards of Chapter 23.08 of the Coastal Zone Land Use Ordinance:
 - (i) **Location.** Residential development shall be located on the upper floor(s) above a non-residential use or in the rear of the site behind a non-residential use.
 - (ii) **Density.** Maximum residential density is 15 dwelling units per acre, calculated using the acreage of the entire mixed-use site (residential plus non-residential).
 - (iii) **Parking.** Notwithstanding any other provisions of this plan, the number of parking spaces shall be as required by the Coastal Zone Land Use Ordinance and shall be provided on the site.
 - (iv) **Existing single-family residences.** Residential uses existing prior to adoption of the Los Osos Community Plan and located on properties may continue and be expanded or remodeled as a primary use without

the limitations imposed by Section 23.09.026 Nonconforming Uses of Land and without being required to include commercial development.

i. **Residential multi-family development as a principle use in Area “B” as shown in Figure 7-51.** Multi-family dwellings are allowable as a principal use in accordance with applicable Coastal Zone Land Use Ordinance standards for multi-family development, except as follows:

- (1) **Chapter 23.08, Coastal Zone Land Use Ordinance.** The standards for residential uses in Office and Professional and Commercial categories shall not apply.
- (2) **Density.** Maximum density shall be 15 dwelling units per acre.
- (3) **Side and Rear Setbacks.** Where the side or rear yard of residential development is adjacent to a non-residential land use category, the minimum setback shall be as specified in Chapter 23.04 of the Coastal Zone Land Use Ordinance for side and rear setbacks, as applicable, in Commercial and Industrial categories adjacent to a residential category/residential use.

j. ***Baywood Design Guidelines***

New development should apply the following design principles. An example of how these principles might be applied is illustrated in the Baywood Commercial Area Design Concept shown in Appendix B, Figure B-2 of the Los Osos Community Plan.

- *Design streets, streetscapes, landscaping, parking lots, and buildings to encourage pedestrian use and activities and bicycle travel.*
- *Provide building facades or public spaces that occupy most or all of the site frontage, except where infeasible due to sensitive vegetation or other physical or environmental constraints.*
- *Landscape all pedestrian spaces, which should be inter-connected by a network of walkways and plazas. Encourage shared parking among businesses.*
- *Encourage the use of modifications to the parking standards in the Coastal Zone Land Use Ordinance to allow, where appropriate, the use of on-street parking spaces to help satisfy requirements for the number of on-site parking spaces.*
- *Provide convenient connections between parking areas and businesses through pedestrian-oriented and scaled spaces. Fences and other barriers between non-residential development should be avoided, especially on 2nd Street.*

- *Design new development to emphasize the importance of public spaces.*

B. Commercial Service (CS)

The following standards apply only to land within the Commercial Service land use category.

1. **Height.** Maximum building height shall be 35 feet.
2. **Compatibility.** All commercial development subject to discretionary approval shall incorporate measures to assure compatibility with nearby residences (including on-site caretaker units), with regard to impacts associated with, but not limited to, noise, vibration, odor, light, glare, hazardous materials, truck traffic, exhaust, unsightliness, or hours of operation. Land use permit applications shall include a description of activities that may be incompatible with residential neighbors and measures to avoid or mitigate those incompatibilities. This may require the applicant to submit special studies, such as a noise study, to address the issue(s). The size, scale, and design of such facilities must be consistent with the existing small-town character of Los Osos and compatible with adjacent residential and retail development. Land use compatibility shall be based on Planning Commission review of a commercial project's impacts to nearby residences related to noise, lighting, air quality, and traffic, based on technical studies associated with such projects, as determined to be appropriate by the Department of Planning and Building.

C. Office and Professional (OP)

The following standards apply only to lands within the Office and Professional land use category in the specified areas.

1. **Central Business District, Parking (See Figure 7-48).** The number of on-site parking spaces provided shall be no more than that required by Chapter 23.04 of the Coastal Land Use Ordinance. Community parking areas within a 1/4-mile radius and on-street parking within the same block may be used to satisfy parking requirements.
2. **Height, Central Business District.** Maximum building height in the central business district shall be 35 feet.
3. **West Side of 7th Street Between El Moro and Santa Maria Avenues.** The following standards apply only to the property shown in Figure 7-52.
 - a. **Limitation on Use.** Uses identified in Coastal Table O, Part I of the Land Use Element/Local Coastal Plan as "A", "S" or "P" uses are limited to: churches, schools – pre to secondary, caretaker residence, residential care, membership organization facilities, and residential accessory uses.
 - b. **Site Design Criteria.** All new development shall resemble the size, character and scale of the surrounding residences, and shall provide landscaping between the new development and the frontage of the nearest public road. Pedestrian sidewalk(s) shall be provided between new development and the nearest public road. All outdoor lighting, play areas, and new parking spaces shall be located

away from the adjacent residential property lines or shall be separated by a minimum 10-foot wide landscaping screen.

- 4. **Existing single-family residences.** Residential uses existing prior to adoption of the Los Osos Community Plan and located on properties may continue and be expanded or remodeled as a primary use without the limitations imposed by Section 23.09.026 Nonconforming Uses of Land and without being required to include commercial development.

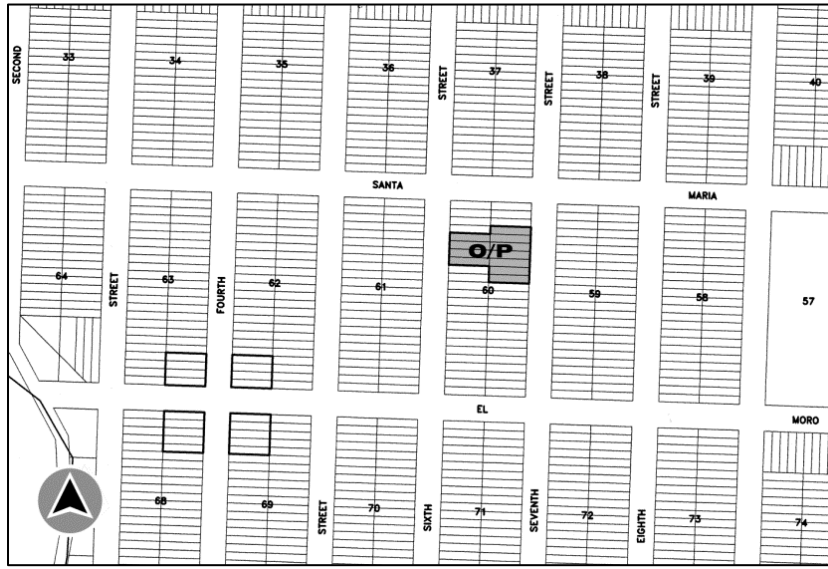


Figure 7-52: OP Category on West Side of 7th Street Between El Moro and Santa Maria Avenues

D. Open Space (OS)

The following standard applies only to lands within the Open Space land use category in the specified area.

[Designation of properties in the Open Space land use category does not in and of itself convey or imply any right of public use, access, trespass or violation of privacy. The same is true when the LUE/LCP identifies a need for open space preservation through easement, contract or other instrument.]

1. **Sweet Springs Preserve, Limitation on Use.** Allowable uses in the Sweet Springs area as shown in Figure 7-53 are limited to coastal accessways and passive recreation.

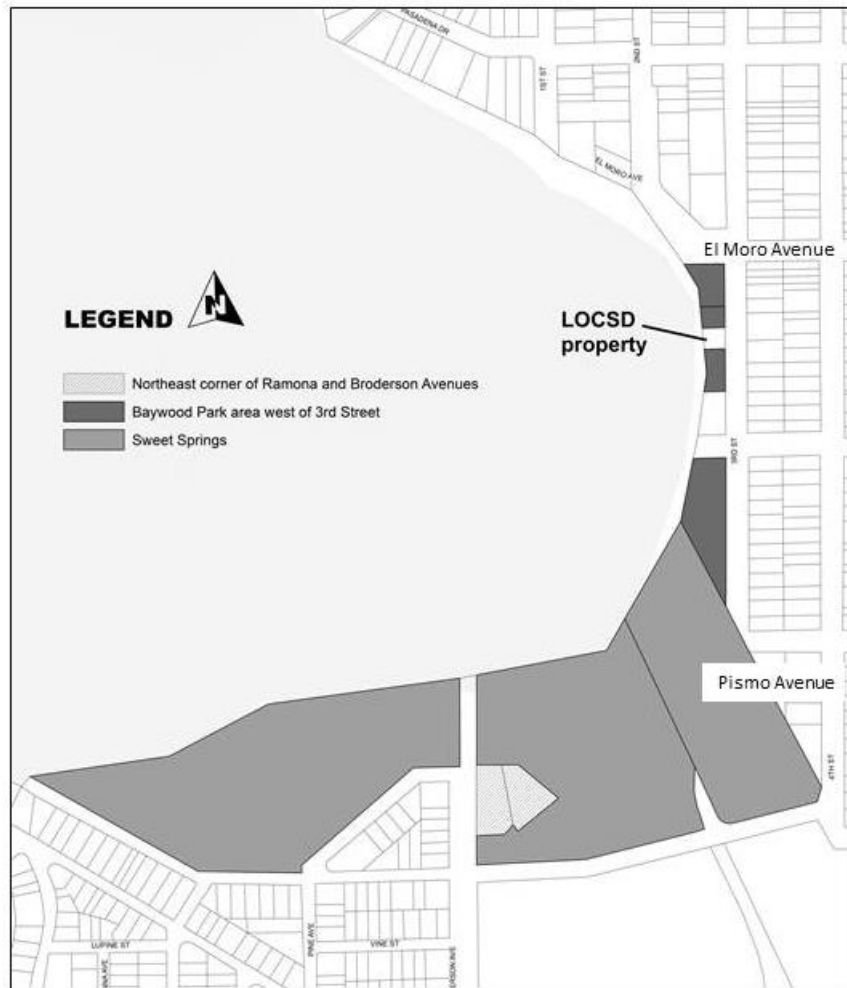


Figure 7-53: Sweet Springs Area and Baywood Park Area West of 3rd Street

E. Public Facilities (PF)

The following standards apply only to lands within the Public Facilities land use category in the specified areas.

1. **Broderson Site, Limitation on Use.** Allowable uses shall be limited to passive recreation and public utility facilities on the approximately 40-acre area south of

Highland Drive and west of an extension of Broderson Avenue, as shown in Figure 7-54.



Figure 7-54: Broderson Site

2. Limitation on Site Disturbance, LOCSO Property.

- a. New development on the Los Osos Community Services District property in the Baywood Park Area West of 3rd Street, as shown in Figure 7-53, shall be limited to the area of disturbance of the existing well site.
- b. **Development Limitations.** Development shall follow appropriate setback and building standards to avoid future coastal hazards for the life of the proposed development without the use of shoreline protective devices.

F. Recreation, Public Facilities (REC, PF)

The following standards apply only to lands within the Public Facilities and Recreation land use categories in the specified area. The following standards apply to the County-owned Midtown site, as shown in Figure 7-55.

- 1. **Limitation on Use.** Allowable uses shall be limited to passive recreation, pipelines and transmission lines, and pump or lift stations consistent with the approved communitywide sewer project. The following additional uses shall be allowed only in the event that the CDP for the communitywide sewer (CDP A-3-SLO-09-055/069) is amended to replace sensitive habitat offsite and allow additional uses: outdoor sports and recreation, public assembly and entertainment, temporary events, water wells and impoundments, outdoor retail sales, offices.

2. **Lighting and Nighttime Use.** Future park and community facilities at this location must include appropriately scaled lighting that does not adversely affect nearby residents. The site shall be primarily for daytime use.

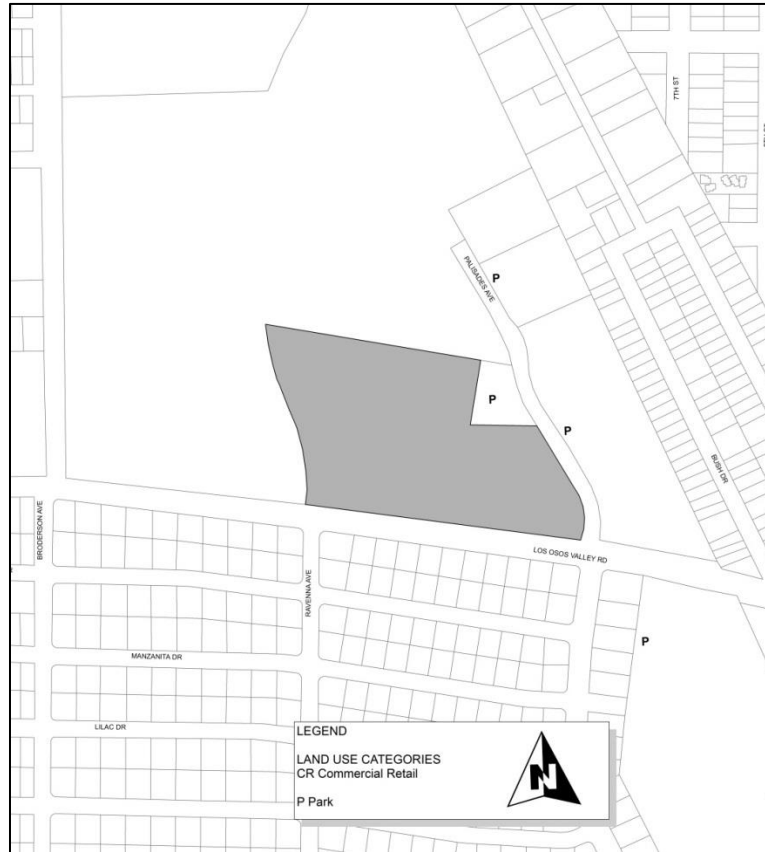


Figure 7-55: Midtown Site (Los Osos Valley Road at Palisades Avenue)

G. Recreation (REC)

The following standards apply only to lands within the Recreation land use category in the specified areas.

Designation of properties in the Recreation land use category does not in and of itself convey or imply any right of public use, access, trespass or violation of privacy. The same is true when the LUE/LCP identifies a need for open space preservation through easement, contract or other instrument.

1. **Cuesta Inlet.** The following standard applies within the Cuesta Inlet area (visitor-serving priority area) as shown in Figure 7-41.
 - a. **Limitation on Use.** Allowable uses shall be limited to passive recreation (including a boat launching ramp and parking areas), one single-family dwelling or one mobilehome.

- b. **Density.** The maximum development potential shall be one dwelling unit. Development shall be concentrated or clustered in accordance with the communitywide standards of the Los Osos Community Plan.
 - c. **Public Access.** Maximum public access shall be provided to the shoreline in this visitor-serving priority area, consistent with the intent of the Los Osos Community Plan Circulation Element maps (see Chapter 5) and protection of sensitive habitat.
 - d. **Application Content.** All applications for development shall document the location of state tidelands in relation to this site and resolve any questions about ownership of this property.
2. **Baywood Park Area West of 3rd Street.** The following standards apply to the bayfront area between Pismo and El Moro Avenues (see Figure 7-53).
- a. **Limitation on of Use - West of 3rd Street.** For the bayfront area between Pismo and El Morro Avenues, allowable uses are limited to one single family dwelling per legal parcel, residential accessory structures, home occupations, animal raising and keeping, coastal accessways, and passive recreation (hiking and nature trails and nature study).
 - b. **Land Divisions Prohibited.** No further land divisions are allowed due to environmentally sensitive habitats and lack of appropriate building sites on these bayfront properties.
 - c. **Development Limitations.** Development shall follow appropriate setback and building standards to avoid future coastal hazards for the life of the proposed development without the use of shoreline protective devices.
3. **Golf Course North of Howard Avenue, Limitation on Use.** Allowable uses on the existing golf course north of Howard Avenue in the northern portion of the West of Pecho area, as shown in Figure 7-56, shall be limited to coastal accessways, water wells and impoundments, and the existing uses on the site: golf course with eating and drinking places (restaurant), hotels, motels, wireless telecommunications facility, and resort type uses.

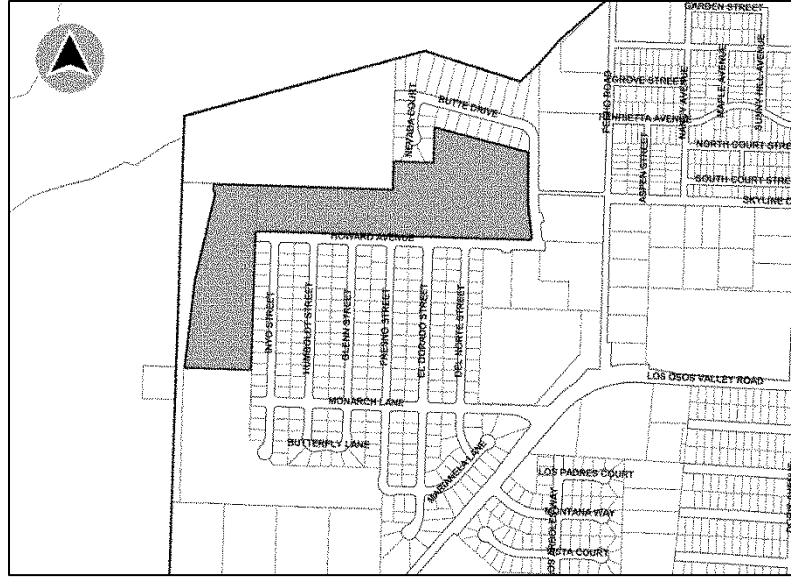


Figure 7-56: Golf Course North of Howard Avenue

4. **Santa Ysabel Avenue Coastal Access, Limitation on Use.** Allowable uses on the County-managed coastal access at the westerly terminus of Santa Ysabel Avenue, west of Pasadena Drive, as shown in Figure 7-22, are limited to coastal accessways and passive recreation.

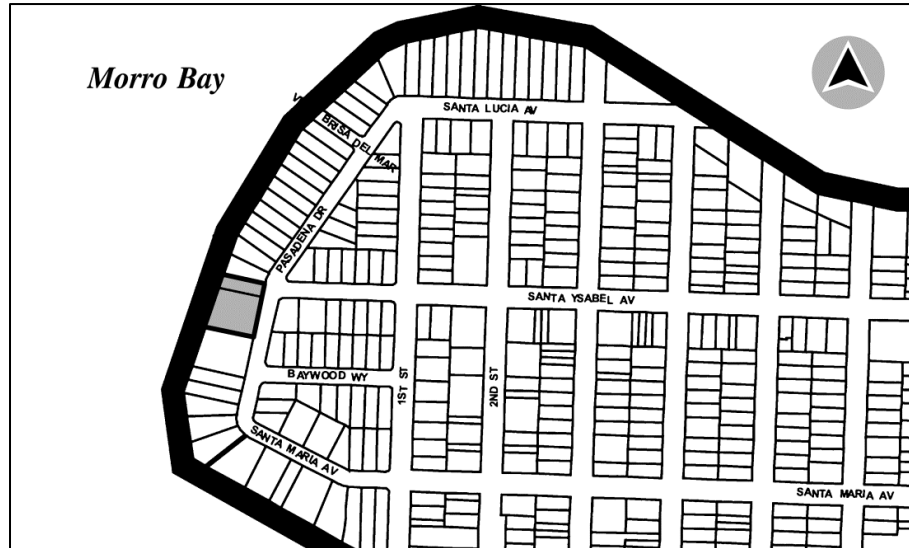


Figure 7-57: Santa Ysabel Avenue Coastal Access

H. Residential Rural (RR) – Creekside Area.

The following standards apply only to lands within the Residential Rural land use category in the Creekside Area as shown in Figure 7-58.

1. **Clustered Development.** Minimize site disturbance and concentrate or cluster development in accordance with the communitywide standards of the Los Osos Community Plan, so long as it is otherwise LCP-consistent. This is intended to protect riparian and wetland habitat; rare, endangered or threatened species--such as the Morro

Bay Kangaroo Rat and the Morro Shoulderband snail--and their habitat; the Morro Bay estuary; and other sensitive features described in the Los Osos Community Plan.

2. **Setbacks.** New development shall be set back at least 100 feet from the following sensitive features: wetland vegetation, the upland extent of riparian vegetation, and areas of habitat that support rare, endangered, or threatened species.



Figure 7-58: RR – Creekside Area

I. Residential Multi-Family (RMF)

The following standards apply only to lands within the Residential Multi-Family land use category.

1. Residential Density--New Projects

- a. **Maximum Density.** Except for senior citizen housing (see Subsection I.3.) maximum density shall be 15 dwelling units per acre on properties less than one acre and 26 dwelling units per acre on properties of one acre or more.
- b. **Minimum Density.** In all Residential Multi-Family categories, except in the Morro Shores Mixed Use Area as shown in Figure 7-61 if physically feasible and if environmental impacts can be mitigated, the minimum overall density on parcels of 10,000 square feet and larger shall be 10 dwelling units per acre. Refer to the

LOS OSOS URBAN AREA STANDARDS

standards for the Morro Shores Mixed Use Area (Section J) for minimum densities in that area.

2. **Height Limitation.** Maximum height shall be 28 feet, except for bayfront areas (see Figures 7-41).
3. **Senior Citizen Housing.** Senior citizen housing defined: a project that consists of either a) residential development that is specifically designed to meet the physical and social needs of persons aged 62 and over, or b) residential development consisting of at least 35 dwellings specifically designed to meet the physical and social needs of persons aged 55 and over. Senior citizen housing may include accommodations for independent living and/or assisted living. Senior citizen developments are subject to the following:
 - a. **Residential Density.** Within a ½ mile distance of the Central Business District, as shown in Figure 7-59, the maximum residential density shall be 38 dwelling units per acre.

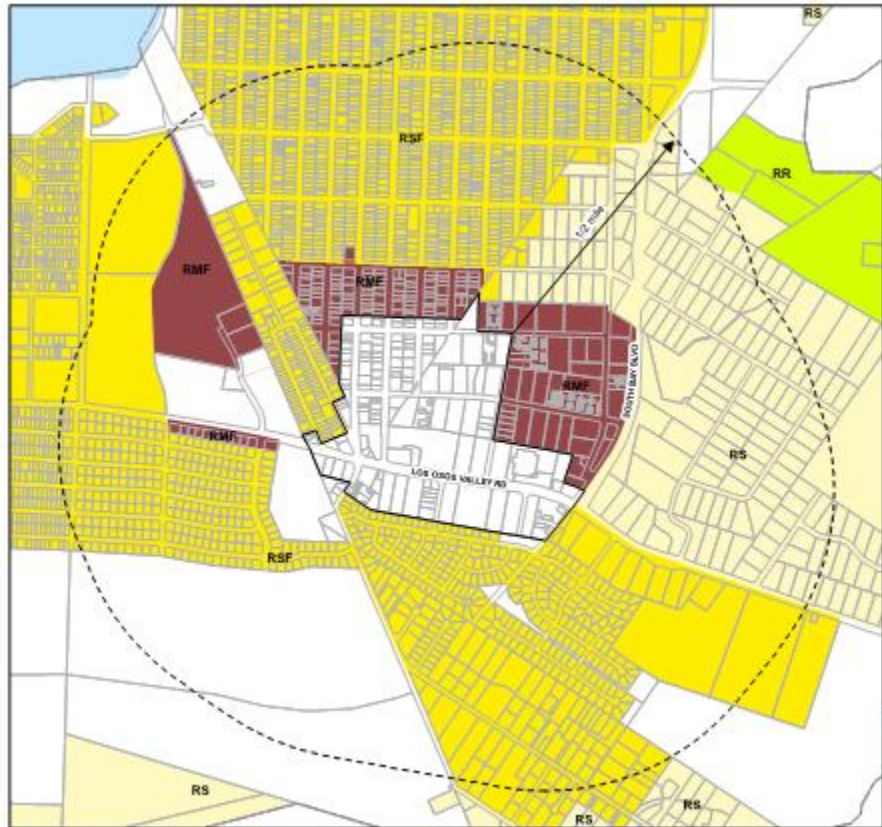


Figure 7-59: RMF within ½ Mile from CBD

- b. **Floor and Open Area.** The land use permit shall require an amount of private open space and common area for privacy, recreation, light, and air that is appropriate for the nature of the project. There is no maximum floor area limitation; however, in no case shall the minimum open area fall below 40 percent of the site area, as defined in Chapter 23.04 of the Coastal Zone Land Use Ordinance.

- c. **Parking, Design.** Parking and design shall comply with the standards for senior citizen housing listed in the Commercial Retail land use category for the central business district.

J. Morro Shores Mixed Use Area RMF, RSF, CS.

The following standards apply to the Morro Shores Mixed-Use Area in the RMF, RSF, CS categories (see Figure 7-60).



Figure 7-60: Morro Shores Mixed Use

- 1. **Height.** The maximum building height for residential and accessory uses shall be 28 feet.
- 2. **Habitat Corridor.** Development shall provide a permanently protected habitat corridor that extends from the southern part of the site to Ramona Ave. This corridor

shall be designed so that future circulation connections can be made to Los Osos Valley Road and through Area 1 (see Figure 7-60) to Broderson Ave.

3. **Circulation Connections.** Development shall provide public vehicular, bicycle, pedestrian, and equestrian links to adjacent neighborhoods, commercial areas, schools, parks, the bay, and the community center.
4. **Medium to High Density Residential.**
 - a. **Development Potential.** A maximum of 200 (250 with a senior citizen housing bonus) dwelling unit are allowable within Area 2 (see Figure 7-60) if physically feasible and if environmental impacts can be mitigated.
 - b. **Housing Types.** A variety of housing types are encouraged: single family, multi-family, attached, detached, or zero lot-line units. Creative lot designs are also encouraged, such as "Z" lots, courtyard lots, and others.
 - c. **Densities.** If physically feasible and if environmental impacts can be mitigated, the *minimum* density shall be 10 dwelling units per acre within the development area. The maximum density within the development area shall be 26 dwelling units per acre.
 - d. **Senior Citizen Housing.**
 - (1) **Incentive.** Senior citizen housing as defined Subsection H is encouraged, but not required. If at least 100 senior housing units are provided, a bonus of 50 additional residential units with a density of at least 10 dwelling units per acre (up to a maximum total of 250 units) shall be granted if physically feasible and if environmental impacts can be mitigated.
 - (2) **Density.** The maximum density of senior citizen housing shall be 38 dwelling units per acre within the development area.
 - (3) **Other Development Standards.** Development shall comply with the floor and open area, parking, and design standards for senior citizen housing in the Residential Multi-Family land use category listed in Subsection I.
5. **Neighborhood Commercial.** Up to 3.5 acres are allowable for commercial uses intended to serve the surrounding neighborhood and employees of the adjacent business park.
6. **Future Community Services Center.** Up to 3.5 acres may be planned for a future community services center that could include a community hall, a substantially expanded library, a sheriff's substation, and medical and social services.
7. **Low Density Residential.**
 - a. **Area 1: 30.5-Acres in the western portion of the site (see Figure 7-60).**
 - (1) A maximum of 95 low density residential parcels are allowable in area 1.
 - b. **Area 3: 2.5-Acre Property East of Palisades Avenue (see Figure 7-60).**

- (1) **Limitation on Use.** Allowable uses shall be limited to all uses allowable in the Residential Multi-Family category per Coastal Table O, Part I of the Land Use Element.
- (2) **Residential Development Potential.** A maximum of 25 dwelling units are allowable in Area 3. A variety of housing types are encouraged: single family, multi-family, attached, detached, or zero lot-line units. Creative lot designs are also encouraged, such as "Z" lots, courtyard lots, and others.

K. Residential Single Family (RSF)

The following standards apply only to lands within the Residential Single Family land use category in the specified areas.

- 1. **Height Limitations.** Maximum height shall be 28 feet except where other applicable planning area standards establish other specific height limits (see Figures 7-40).
- 2. **Bayview Heights Area, New Land Divisions.** The following standards apply only to the Bayview Heights area (see Figure 7-61).
 - a. **Parcel Size:** Minimum parcel size for new land divisions shall be one acre.
 - b. **Access - New Land Divisions.** New land divisions south of Bayview Heights Drive are to be designed to provide through-street access between Bayview Heights Drive and Calle Cordoniz Road.

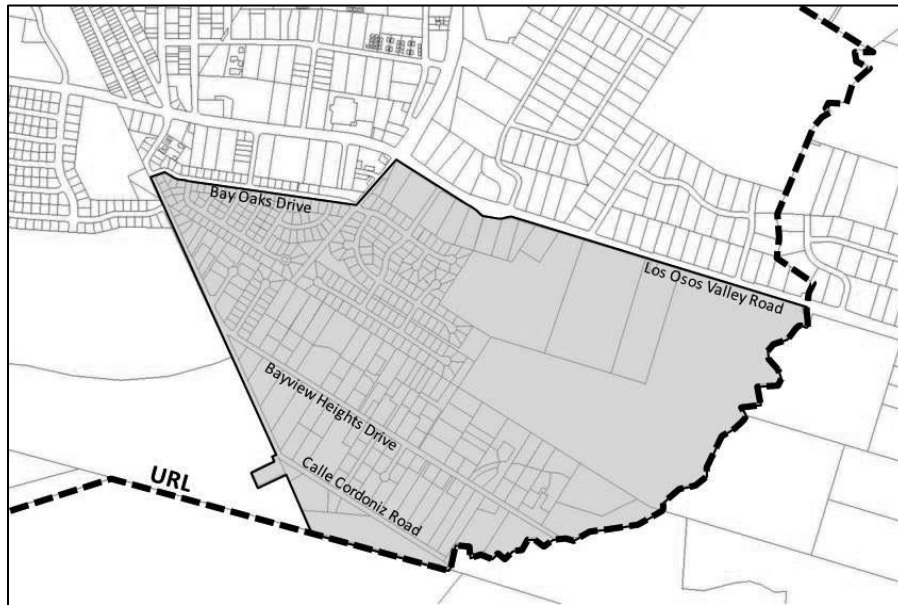


Figure 7-61: Bayview Heights

LOS OSOS URBAN AREA STANDARDS

3. **Martin Tract.** The following standards apply only to the Martin Tract as shown in Figure 7-62.
 - a. **Land Divisions.** The minimum parcel size for new land divisions is one acre, except that the number of parcels for new land divisions on the parcels connected to the Los Osos Recycling Facility shall be one per 6,000 square feet (gross site area).
 - b. **Access - Los Osos Valley Road.** Where alternative access is available, lots fronting on Los Osos Valley Road shall not use Los Osos Valley Road for access.
 - c. **Access - New Lots Adjacent to Rosina Drive.** Proposed land divisions south of Rosina Drive are to be designed to have cul-de-sac access from Rosina Drive.
4. **Cuesta-by-the-Sea.** The following standards apply only to Cuesta-by-the-Sea as shown in Figure 7-62.
 - a. **Setbacks.** Minimum setbacks for new construction are as follows, except that new construction proposed on bayfront properties is to be set back from the Morro Bay wetlands according to wetland setback requirements in Communitywide Standards. Front: 15 feet, Side: 3 feet, Corner side: 10 feet, Rear: 10 feet.



Figure 7-62: Cuesta-by-the-Sea, Martin Tract, Ramona/Broderson Avenues

5. **Sweet Springs Area Northeast Corner of Ramona and Broderson Avenues.** The following standards apply to the two residential parcels near the northeast corner of Ramona and Broderson Avenues in the Sweet Springs Area (see Figure 7-62).

- a. **Minimum Site Area.** The minimum site area is 20,000 square feet. The existing parcels shall not be further subdivided.
 - b. **Density.** Each parcel may be developed with a maximum of one dwelling unit).
 - c. **Tree Protection.** Retain trees to the maximum extent feasible.
 - d. **Storm Water.** Surface water/storm drainage shall be maintained on-site or directed in such a manner to protect the marsh and wetlands habitat.
 - e. **Development Limitations.** Development shall follow appropriate setback and building standards to avoid coastal hazards for the life of the proposed development without the use of shoreline protective devices.
6. **Baywood Park Area.** The following standards apply to the Baywood Park area (see Figure 7-63).
- a. **Lot Coverage.** Maximum lot coverage on a single 25-foot lot shall be 60 percent. On lots of 6,000 square feet or more, maximum lot coverage shall be 40 percent, excluding patios, driveway, walks, etc.
 - b. **Tract 40 (Small-Scale Neighborhood).** In Tract 40, as shown in Figure 7-63, streetlights shall not be installed and shall not be required with new development.



Figure 7-63: Baywood Park Area

- 7. **Southwestern Hillside - Cabrillo Estates.** The following standards apply only to Cabrillo Estates (see Figure 7-64).
 - a. **Land Divisions.** The minimum parcel size for new land divisions shall be 20,000 square feet, unless a larger parcel size is otherwise required by Section 23.04.028 of the Coastal Zone Land Use Ordinance.
 - b. **Architectural Control Committee.** Prior to issuance of building permits the applicant shall provide the Department of Planning and Building certification that the Architectural Control Committee (ACC) for Cabrillo Estates has reviewed pertinent plans. The ACC shall have thirty (30) days to make a recommendation. The review authority is not bound by any decision of the committee and may grant permits and approvals under these provisions.
 - c. **Limitation on Use.** Uses shall be limited to: single family dwellings, mobilehomes, residential accessory uses, temporary dwellings, home occupations, schools-preschool to secondary (limited to day care centers), and water wells and impoundments.
 - d. **Setbacks.** Minimum setbacks are as shown in Table 7-5.

Table 7-5: Minimum Setbacks – Cabrillo Estates

Setback Location	Setbacks for Dwellings	Setbacks for Detached Accessory Structures
Front	25 feet	25 feet
Rear	20 feet	8 feet
Side	5 feet	3 feet
Corner Side	10 feet	10 feet

- e. **Height Limitation.** The maximum height of all structures shall be 15 feet above the highest point of the lot as measured from the highest point of the roof, not to exceed 28 feet at all points as measured continuously through the building footprint from existing grade (prior to the proposed development) to the highest point of the roof.



Figure 7-64: Cabrillo Estates

8. **Morro Shores (see Figure 7-65), Expansion of Mobilehome Park.** Expansion of existing mobilehome park development shall incorporate conditions so that roofing materials (non-glare) reduce visibility from upland areas and landscaping screens structures.

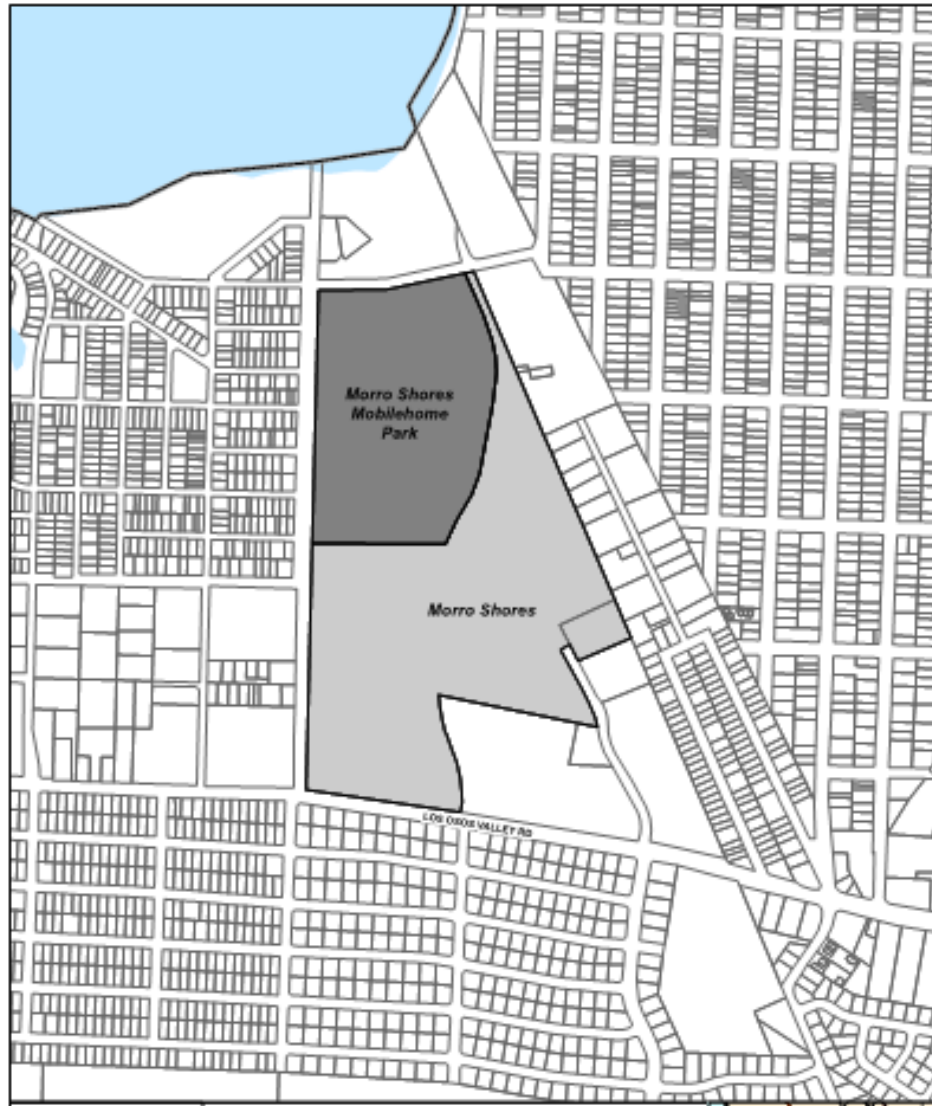


Figure 7-65: Morro Shores Area

9. **Morro Shores Mixed-Use Area (RMF, RSF, CS)** (see Figure 7-65). The standards for this area are listed in Subsection J.

10. **Redfield Woods, Los Osos Highlands (Tract 84) and Morro Palisades (Tract 122) Areas (Figure 7-66).** Minimum setbacks for new structures are as shown in Table 7-6.

Table 7-6: Minimum Setbacks – Redwood Fields, Los Osos Highlands (Tract 84), Morro Palisades (Tract 122)

	Front	Rear	Side	Corner Side
Tract No. 84	20 feet	10 feet	10 feet	15 feet
Tract No. 122	20 feet	10 feet	5 feet	15 feet
Redfield Woods	20 feet	5 feet	5 feet	5 feet

11. **Land Divisions, Vista de Oro Area.** For the Vista de Oro area shown in Figure 7-66, the minimum parcel size for new land divisions shall be one acre.

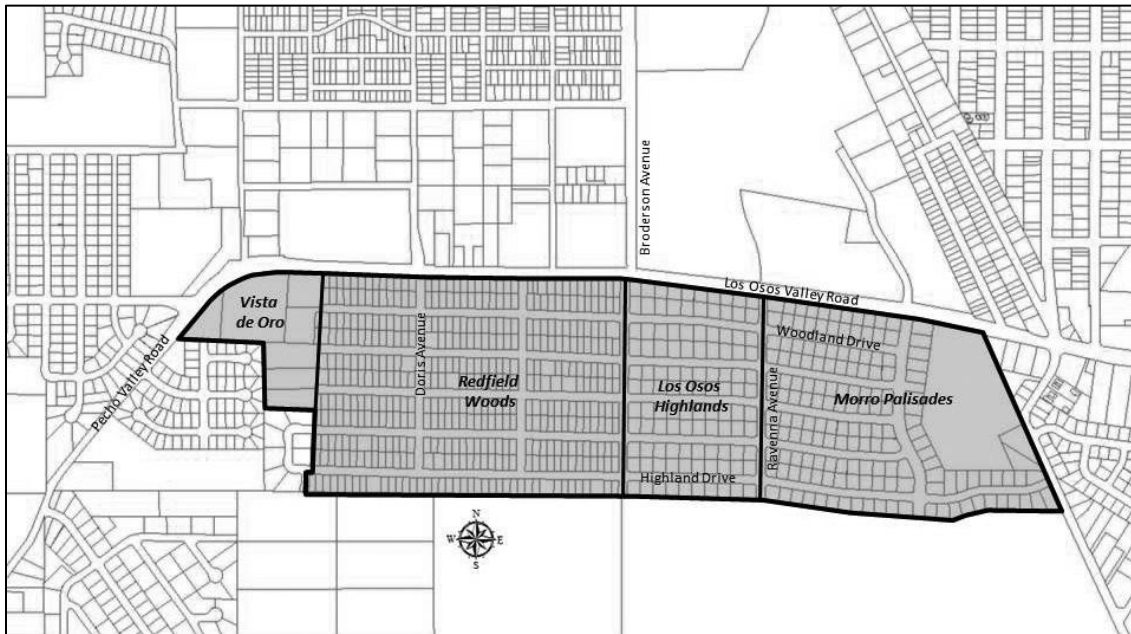


Figure 7-66: Highlands Neighborhoods

L. Residential Suburban (RS)

The following standards apply only to lands within the Residential Suburban land use category in the specified areas.

1. **Land Divisions.** The maximum number of parcels shall be one per five acres of gross site area.
2. **Los Osos Creek/Eto Lake Corridor.** The following standards apply to all parcels adjacent to Eto Lake and Los Osos Creek and its riparian vegetation, as shown in Figure 7-67.
 - a. **Clustered Development.** Minimize site disturbance and concentrate or cluster development in accordance with the Communitywide Standards of the Los Osos Community Plan.

b. **Setbacks.**

- (i) **All Areas Except Existing Parcels Adjacent to Palomino Drive.** New development shall be set back at least 100 feet from the following sensitive features: wetland vegetation, the upland extent of riparian vegetation, and significant areas of habitat that support rare, endangered or threatened species as defined in the Resource Protection standards in the Communitywide Standards of the Los Osos Community Plan .
- (ii) **Existing Parcels Adjacent to Palomino Drive.** New development shall be set back at least 50 feet from the sensitive features described above in Subsection b (i).
- (iii) **Adjustments.** The preceding setbacks may be adjusted as follows:
 - (a) **Riparian and Wetland Setbacks.** As provided in Chapter 23.07 of the Coastal Zone Land Use Ordinance.
 - (b) **Setback from Habitat that Supports Rare, Endangered or Threatened Species.** As provided in Chapter 23.05 of the Coastal Zone Land Use Ordinance in the standards for grading adjacent to Environmentally Sensitive Habitats.

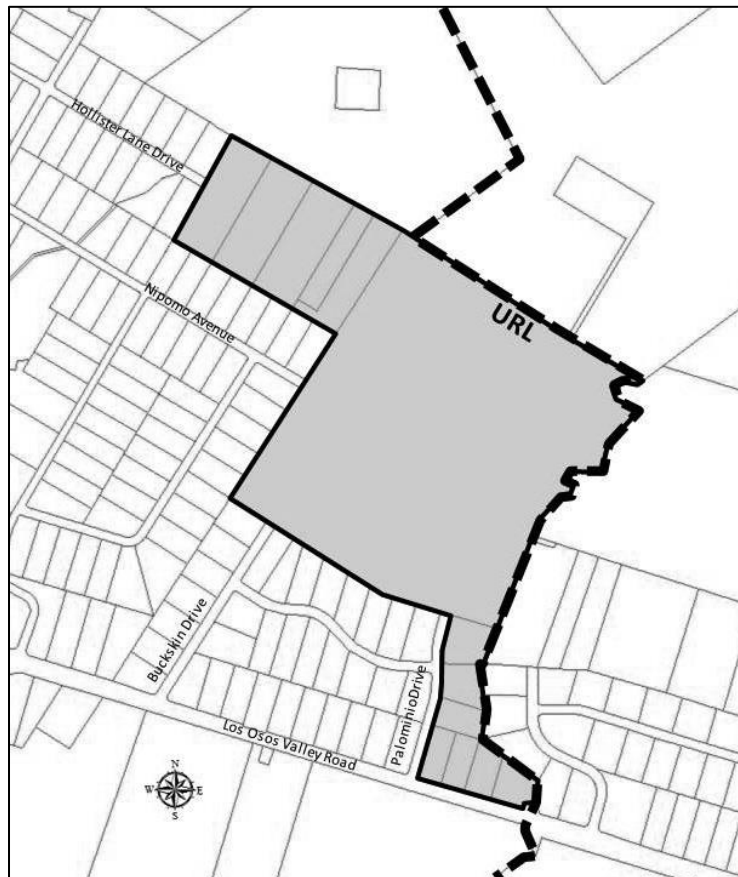


Figure 7-67: RS – Los Osos Creek/Eto Lake Corridor

3. **West of Pecho Area.** The following standards apply to the areas shown in Figure 7-68 that are in the Residential Suburban land use category.
 - a. **Access – Pecho Valley Road.** Where alternative access is available, lots fronting on Pecho Valley Road shall not use Pecho Valley Road for access.
 - b. **West of Pecho Valley Road, South of Monarch Grove.**
 - (i) **Building Height.** Maximum building height shall be 22 feet.
 - (ii) **Limitation on Use.** This standard applies only to the area west of Pecho Valley Road and south of Monarch Grove (Tract 1589), not including the 17-acre property north of Seascape Place (see subsequent standards for that area). All special uses (identified as "S" uses in Coastal Table O, Part I of the Land Use Element) are prohibited except for: animal raising and keeping, home occupations, mobilehomes, residential accessory uses, accessory dwelling units, temporary dwellings, pipelines and transmission lines, coastal accessways, water wells and impoundments, and public utility facilities.
 - c. **17-acre Property North of Seascape Place.**
 - (i) **Limitation on Use.** This standard applies to the 17-acre property fronting on Pecho Valley Road as shown in Figure 7-68. Allowable uses are limited to single family dwellings, coastal accessways, residential accessory uses, home occupations, mobilehome, and water wells and impoundments.

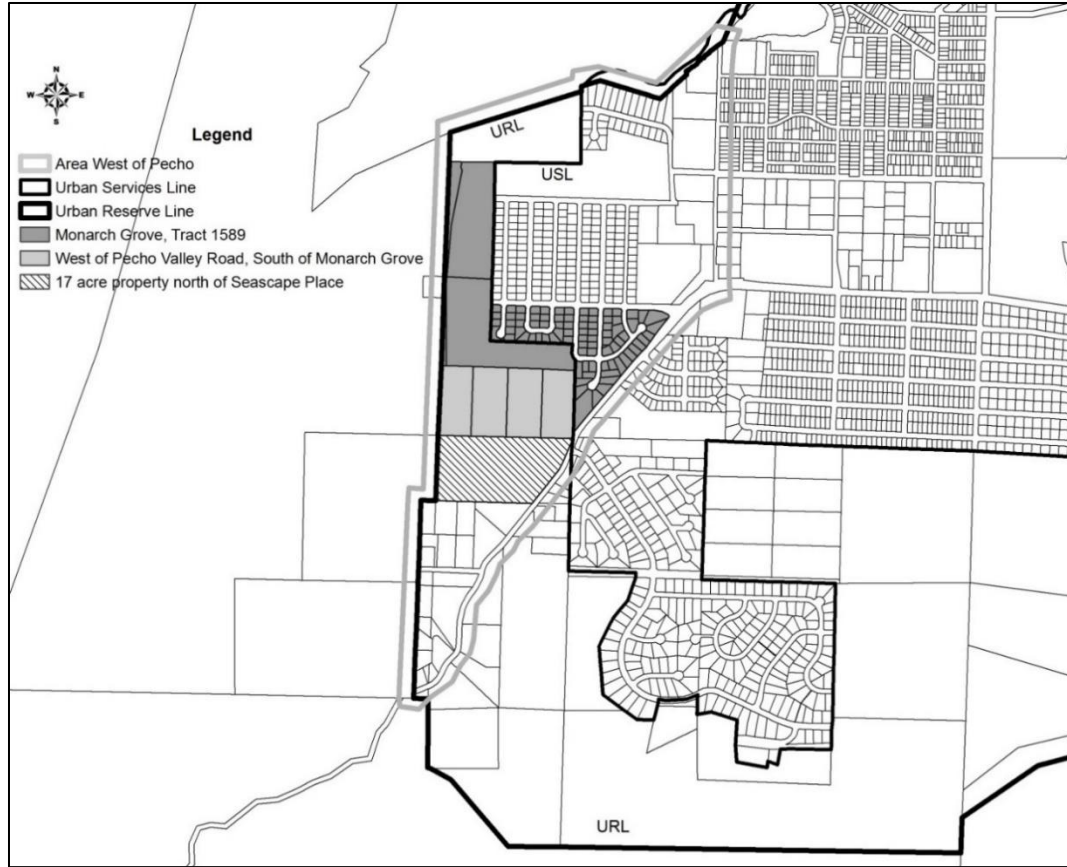


Figure 7-68: West of Pecho Area

4. **Southwestern Hillsides.** The following standards apply to the Southwestern Hillsides as shown in Figure 7-69 in the subareas specified.
 - a. **Building Design, All Areas.** In the entire Southwestern Hillsides as shown in Figure 7-69, all buildings shall have 1) low profiles that architecturally follow and adapt to the natural slope and 2) subdued colors that blend with the natural environment.
 - b. **Access, East of Pecho Valley Road.** This standard applies only to parcels that front on the east side of Pecho Valley Road within Subarea C, as shown in Figure 7-69. Where alternative access is available, lots fronting on Pecho Valley Road shall not use Pecho Valley Road for access.
 - (i) **Land Divisions, Cabrillo Estates (Subarea A).** New land divisions shall require a road to be offered for dedication and improved to the western property line to enable access to the adjacent property to the west in Subarea B, as shown in Figure 7-69.
 - (ii) **Clustered Development Subarea B.** At least 60 percent of the site shall be permanently protected as open space for habitat.



Figure 7-69: Southwestern Hillside: Subareas

CHAPTER 8: COASTAL ACCESS



I. PURPOSE AND ORGANIZATION

Public access to and along the shoreline is a fundamental value of the State of California. Article 10, Section 4 of the California Constitution affirms the public's right of access to the state's navigable waters, and encourages the legislature to enact laws that give the most liberal construction to this provision.

Protecting and maximizing public shoreline access is a fundamental--and perhaps the most significant--goal of the Coastal Act. To achieve this goal, Coastal Act Section 30500 requires that all Local Coastal Programs (LCPs) include a specific public access component. This chapter contains a comprehensive reference to county goals, policies, standards, and ordinances pertaining to provision and maintenance of coastal access in the Estero Planning Area. It also gives a brief overview of existing and potential coastal access, but a more detailed discussion is included in Appendix D. Also included in the appendix is an inventory of existing and potential accessways and accepted offers-to-dedicate coastal access. That inventory should be evaluated and updated periodically.

II. COASTAL ACT POLICIES

Policies in the California Coastal Act of 1976 guide the conservation and development of California's 1,100 mile coastline, with the goal of protecting California's coastal resources and providing for their wise use. In enacting the Coastal Act, the legislature declared that a basic goal of the state for the coastal zone is to maximize public access to and along the coast and maximize recreational opportunities in the coastal zone consistent with sound

FRAMEWORK FOR PLANNING GOAL, COASTAL PLAN POLICIES

resource conservation principles and constitutionally protected rights of private property owners. (Section 30001.5)

The Coastal Act guarantees the right of public access to all coastal tidelands. It contains policies which require that existing legal rights of public access to the coast be protected, and that reasonable requirements for public access be established in new developments along the coast. Chapter 3 of the Coastal Act contains policies about public access and development between the first public road and the shoreline. For example, Section 30210 states that maximum public access...shall be provided for all the people." Section 30211 states that development shall not interfere with existing public access rights to the sea. Section 30212 requires new development to provide "public access from the nearest public roadway to the shoreline and along the coast." The full text of applicable public access policies from the Coastal Act is included in Chapter 2 of the county's Coastal Plan Policies document.

The public's right to shoreline access is not absolute. Coastal Act Sections 30210, 30212 and 30214 require that public access rights be balanced with other public and private concerns, including public safety needs, military security, private property rights, agricultural interests, and ecological concerns.

III. FRAMEWORK FOR PLANNING GOAL, COASTAL PLAN POLICIES

A. Framework for Planning, Coastal Zone

Framework for Planning, Coastal Zone, serves as the Land Use and Circulation Element of the General Plan for the county's coastal zone. It provides a framework for county decisions on land use, development, and circulation. General Goal 12c encourages better access to the coast through the acquisition and development of coastal accessways, trails, and parks, in appropriate locations. Framework for Planning identifies the coastal zone and areas within the coastal zone where shoreline access is important.

B. Coastal Plan Policies

Coastal Plan Policies states the policy commitment of the county to implement the mandates of the Coastal Act. This document applies to all four coastal zone areas: the Estero, North Coast, San Luis Bay, and South County Planning Areas. Chapter 2 of Coastal Plan Policies summarizes access characteristics by planning area, identifies issues relating to shoreline access, and lists policies for shoreline access that apply throughout the coastal zone.

IV. COASTAL ZONE LAND USE ORDINANCE

The *Coastal Zone Land Use Ordinance (CZLUO)* implements Land Use Element and Local Coastal Plan policies. It contains procedures for review and evaluation of proposed land uses and land divisions, similar to a zoning ordinance. While Framework for Planning identifies where specific uses may be established, the CZLUO determines how such uses may be developed by specifying performance criteria that proposed uses must satisfy in

order to receive approval. Section 23.04.420 of the CZLUO contains requirements for protection and provision of coastal access. It specifies the type of required access, procedures for acquisition, and the type and extent of required improvements.

V. OVERVIEW OF EXISTING AND POTENTIAL COASTAL ACCESS

The Estero Planning Area offers a wide variety of public access opportunities, including highly accessible beaches, two state parks, and formal and informal accessways to the Morro Bay estuary. Examples of existing and potential coastal access are discussed in the following paragraphs, but a more detailed discussion is included in Appendix D, which also contains an inventory of offers-to-dedicate for lateral and vertical access to the coast.

A. Rural Area

Much of the shoreline in the rural portion of the planning area is owned and managed by the State Department of Parks and Recreation. There is good existing access in much of the rural area, including access adjacent to the Morro Bay estuary.

On the coastal terrace west of Cayucos, two properties formerly under private ownership that cover the area between Cayucos and Villa Creek have been acquired for conservation purposes. These properties stretch over about four miles of undeveloped coastline, offering spectacular views of the coast and ocean, and excellent opportunities for coastal access. Formal, defined coastal access should be planned for, consistent with protection of sensitive habitat and scenic views from Highway 1, and compatibility with possible agricultural use.

South of the city of Morro Bay, along South Bay Blvd., is the Los Osos Creek estuary. Access exists from South Bay Blvd. in the vicinity of Turri Road. Future access in this area should be compatible with the fragile environment and soft soils of this area.

The Elfin Forest is a publicly-owned and managed Natural Area identified in the Agriculture and Open Space Element of the county General Plan. The public ownership extends from South Bay Blvd. and Santa Lucia (north of and parallel to Santa Ysabel Ave.) to and along the shoreline of the Morro Bay estuary. Recently, a boardwalk loop trail and overlooks with access from 16th Street were built. Future trail connections are possible.

The shoreline south of Los Osos, including the Morro Bay sandspit, is almost entirely owned by the State of California and operated as Montaña de Oro State Park. This area is open for public use, but coastal access is somewhat limited north of the ranger station at park headquarters. Along Pecho Valley Road are a number of scenic viewsheds. There are some existing turnouts/vista points and trailheads. Additional parking areas and beach access should be considered.

B. Cayucos

In general, the shoreline along Cayucos is highly accessible to the public via a series of beachwalks and stairways leading to Cayucos Beach and Morro Strand State Beach. Many coastal accessways are developed. Most of the street ends that dead-end at the shoreline or on the coastal bluff edge are already improved. Further improvement at the State Beach would enhance public access.

Along Pacific Avenue, there are a number of improved corridors from the street to the bluff edge, with stairs down to the beach. Each of these corridors has signs and is developed with a path to a wood staircase down the bluff to the beach below. Most also include parking and bicycle racks, and are controlled with bollards. Other improvements include viewing platforms and landscaping.

In the Studio Drive neighborhood, there are many street ends and narrow corridors improved with stairways down the bluff. There are opportunities to improve coastal access in this area by installing signs in the parking area for Morro Strand State Beach, developing the unimproved street ends and corridors along Studio Drive, and providing off-street parking for access stairways. In addition, improving the dirt path at the south end of Studio Drive should be considered.

VI. ESTERO AREA PLAN GOALS; POLICIES AND STANDARDS

The Estero Area Plan is part of the Land Use Element and Local Coastal Plan, and helps implement the Local Coastal Program, together with *Framework for Planning, Coastal Zone; Coastal Plan Policies*; and the *Coastal Zone Land Use Ordinance* (see previous sections III and IV). This plan contains general goals related to coastal access, as well as policies, standards and programs focused on specific communities and/or geographic areas (programs are discussed in the following section VII). In the event that a policy or ordinance elsewhere in the Local Coastal Program conflicts with an area plan standard, the area plan standard shall prevail.

This plan is intended to maximize public access to the coastline, as expressed by the following goals, policies and standards, which are organized by geographic area. They are compiled from other chapters in this plan, as referenced in parenthesis following each goal, policy and standard.

A. Goals

Planning Areawide

1. Provide maximum public access, and protect existing public access, to the coast, the shoreline, the bay, and public recreation areas, consistent with the need to protect natural resources and private property rights. (Chapter 1: V., Vision and General Goals)

Cayucos

2. Plan with consideration for preserving the natural environment of Cayucos. Protect the seashore, estuaries and coastal area with minimal impairment of physical and visual accessibility. (Chapter 1: V., Vision and General Goals)

B. Policies

Planning Areawide

1. Maximize public access to and along the coast by:
 - a. Developing all feasible vertical and lateral pedestrian access to and along the shoreline, consistent with public access goals and policies of this plan;
 - b. Developing a coastal trail from Los Osos to Cayucos, consistent with the California Coastal Trail and the County Trails Plan, and a bicycle path connecting Morro Bay and Cayucos.
 - c. Developing all other feasible pedestrian circulation systems in the coastal zone, consistent with other public access goals and policies of this plan;
 - d. Providing a regional bike path system; and
 - e. Providing conspicuous signs for all public access. (Chapter 5: IV., Estero Circulation Policies)
2. Prevent interference with the public's right of access to the sea, whether acquired through use or legislative authorization, including, but not limited to, the use of dry sand and rocky coastal beaches to the first line of terrestrial vegetation. (Chapter 8: VI., Goals, Policies and Standards)
3. Require new development between the nearest public roadway and the shoreline and along the coast to provide public access consistent with sound resource management and consistent with public safety, military security needs, and the protection of fragile coastal resources and agricultural operations. (Chapter 8: VI., Goals, Policies and Standards)
4. Carefully balance the public's right of access to the sea with constitutionally-protected private property rights. (Chapter 8: VI., Goals, Policies and Standards)

Rural Area: South of Los Osos

5. Maintain Pecho Valley Road as a two-lane, county-maintained road in its entire length, with operational improvements. (Chapter 5: IV., Estero Circulation Policies)

Rural Area: Estero Marine Terminal Properties

MANAGEMENT OBJECTIVES, ESTERO AREA PLAN PROGRAMS

6. Pursue improved coastal access and amenities, such as a bicycle and pedestrian path connection between Cayucos and the city of Morro Bay. (Chapter 4: II., Rural Land Use Policies)

Cayucos

7. In order to preserve public access to the shoreline and public recreation areas, preserve all rights-of-way and offers of dedication for roads and other accessways. (Chapter 5: IV., Estero Circulation Policies)
8. Develop and maintain accepted beach access ways for safe, public use. (Chapter 4: IV., Cayucos Land Use Policies, REC)
9. Provide additional parking, especially between B and E Streets, using a variety of means. (Chapter 4: IV., Cayucos Land Use Policies, CBD)

C. Standards

Cayucos

1. **Vehicular Use of Accessways.** New development shall not use beach accessways for vehicular access. (Chapter 7: V., Cayucos Urban Area Standards, Combining Designations, B., LCP)
2. **Lateral Access Requirement.** New development located between the sea and the first public road shall be required to make an offer of dedication of lateral access extending from the toe of the bluff to mean high tide, or where applicable, to the inland boundary of the public beach . (Chapter 7: V., Cayucos Urban Area Standards, Combining Designations, B., LCP)

VII. MANAGEMENT OBJECTIVES, ESTERO AREA PLAN PROGRAMS

A. Management

Management of coastal access is complicated because of the many different types of access facilities and the number of responsible agencies. Accessways include developed and undeveloped beaches, bluff top trails, stairways and paths to the beach, highway pull-outs and vista points, parks, and overlooks. In the Estero Planning Area, most accessways are managed by either the State Department of Parks and Recreation or the County Department of General Services/Parks Division. The Morro Coast Audubon Society, a non-profit organization, also manages a key coastal access site. Other non-profit organizations, such as the Coastal Conservancy or the Land Conservancy of San Luis Obispo County, may accept and manage coastal accessways.

Where the county is the responsible agency for managing coastal accessways, the County Department of General Services, Parks Division oversees:

MANAGEMENT OBJECTIVES, ESTERO AREA PLAN PROGRAMS

- Acceptance of offers to dedicate vertical and lateral coastal access
- Design and installation of access facilities, such as parking, stairs, trash receptacles, restrooms, and signs
- Maintenance of existing facilities
- Management of the coastal access inventory
- Evaluation of coastal development proposals for coastal access potential

B. Programs

Chapters 4 and 5 of this area plan contain county objectives for opening and managing existing and future accessways. Chapter 5 also contains circulation maps that show the locations of some key proposed equestrian/hiking trails that provide coastal access. Additional proposed trails are shown and described in the County Trails Plan, and in the Parks and Recreation Element of the county General Plan, which also includes a rating system to determine priorities for developing trails.

The following programs, organized by geographic area, express county objectives for opening and managing existing and future accessways. A reference is given in parenthesis following each program indicating where that program is described in this plan. A table at the end of this chapter summarizes the recommended programs and the schedule for their completion.

Coastal access is to be provided through the following programs, and as new development along the coastline provides coastal access in accordance with the all the policies and ordinances of the Local Coastal Program and the county General Plan.

Planning Areawide

- 1. Acceptance and Improvement of Offers-to-Dedicate.** The Department of General Services, Parks Division, together with the County Department of Planning and Building, should develop a plan, to be approved by the Board of Supervisors, for accepting, improving and linking existing and future offers-to-dedicate. (Chapter 8: VII., Management Objectives and Programs, B., Programs) (B1)
- 2. Public Lands.** Public land holdings that are appropriate for use as public access or recreation should be retained in public ownership for those purposes. (Chapter 8: VII., Management Objectives and Programs, B., Programs) (B2)

Rural Area

- 3. Coastal Bluff and Coastal Access Between Cayucos and Morro Bay.** The county or other applicable agency should acquire and develop a park on the coastal bluff between Cayucos and Morro Bay, south of Studio Drive, and should acquire and improve coastal access between Cayucos and Morro Bay, as follows.

MANAGEMENT OBJECTIVES, ESTERO AREA PLAN PROGRAMS

- a. The park should be primarily for pedestrian use, and could include an interpretive display(s) about the coastal environment and federally listed Western snowy plover.
- b. An off-highway bike path should be built connecting Cayucos and Morro Bay.
- c. The sandy beach between Cayucos and Morro Bay should be acquired or offered for dedication.
- d. Possible dedication and funding for development of a park site should be explored in connection with proposed private development on the larger ownership.
- e. Development should protect and enhance sensitive habitat, including habitat for the federally listed Western snowy plover. Environmental review for improvements should include consultation with the U.S. Fish and Wildlife Service. Public access may need to be limited seasonally to protect the snowy plover. (F2) (Chapter 4: VI, Programs, E., County Parks, Cayucos and Vicinity)

Cayucos

Chapter 5, Circulation Element, identifies several proposed recreational trails in Cayucos, including trails that would improve access to the coast. Other proposed improvements along the shoreline would enhance coastal access. Chapter 4, Land Use Policies and Programs, includes programs intended to increase the amount of parking and opportunities for coastal access in the downtown area.

4. Parking. The county should support provision of more parking for downtown, beach and recreation areas by doing the following:

- a. Encouraging commercial property owners to form and operate a parking district in order to acquire and/or construct a public parking lot; consider funding through in-lieu fees on business expansion.
- b. Encouraging a privately-owned public parking lot (with a charge for parking) adjacent to downtown, providing the lot meets the criteria in the following bullet.
- c. Requiring that any publicly or privately-owned parking lot: a) take access from side streets or alleys where feasible, b) not create a dust problem, c) be divided into sections, rather than covering a single large expanse, d) provide safe pedestrian connections to walkways and shops, and e) include landscape screening from streets and residences.
- d. Establishing a parking time limit to prevent employees and vendors from using parking spaces needed by customers of downtown businesses.

MANAGEMENT OBJECTIVES, ESTERO AREA PLAN PROGRAMS

- e. Encouraging property owners to dedicate to the county and improve rights-of way along North Ocean Avenue leading to B Street and on B Street to Ash Street. The streets should be paved and improved with curbs, gutters and sidewalks for access to the beach in a manner that avoids impacts to Cayucos Creek. As much angle parking as possible should be provided on both sides of B Street.
- f. Creating angled parking areas along the blocks of D Street and E Street that are immediately northeast of Ocean Ave.
- g. Encouraging businesses with on-site parking to make those spaces available for public parking when the businesses are closed.
- h. (C3) (Chapter 5: IX, Circulation Programs, C., Cayucos)

5. Parking and Downtown Enhancement. The County Department of Planning and Building should seek funding and facilitate implementation of a phased series of improvements to a portion of the downtown. The objectives of the downtown improvements are to increase the amount of parking; improve streets, sidewalks, access, and safety; make the downtown more pedestrian-friendly; enhance the appearance of the area; and promote activity, especially business activity.

Phase 1: Provide a large net increase in the existing number of formally designated public parking spaces within a one-block radius of Ocean Front Street through means such as:

- Reconfiguring the parking arrangement in the public parking lot adjacent to the Veterans Memorial Building for greater efficiency (a later phase could include attractive landscaping and lighting)
- Creating angled parking areas along the blocks of D and E Streets that are immediately northeast of North Ocean Avenue within the central business district
- Creating a parking area at the seaward terminus of E Street
- Creating angled parking spaces along North Ocean Avenue leading to B Street and along B Street to Ash Street

Phase 2: Reconfigure Ocean Front Street and the parking area southeast of D Street to create a pedestrian promenade that could become a premier attraction and destination of the Estero Bay and North Coast areas. Create a public place where people wish to visit, window shop, dine, and spend time. Encourage businesses to orient their entrances to Ocean Front Street. Install drainage improvements as appropriate. Consider including the following features:

MANAGEMENT OBJECTIVES, ESTERO AREA PLAN PROGRAMS

- A wide pedestrian walkway adjacent to the beach, with seating areas, small-scale, low-maintenance landscaping, and small-scale lighting
- A sidewalk adjacent to the buildings
- A new seawall that incorporates handicapped-accessible observation areas overlooking the beach

Phase 3: Make various improvements along North Ocean Avenue in order to improve pedestrian access and safety, including "calming" traffic, and make the area more attractive, while reinforcing the community's historic character and identity. Improvements could include the following:

- Widened sidewalks, with seating areas and landscaping
- Textured crosswalks, especially at the intersection with Cayucos Drive
- Islands with community identification signs at the each end of the area shown in the enhancement plan concept
- Subtle "bulb-outs" at intersections to slow-down or "calm" traffic

Phase 4: Install a trail from Hardie Park to the Veterans Memorial Building and make a connection to the proposed promenade (see Phase 2) (B6) (Chapter 4: VI, Programs, B., Land Use, Cayucos and Vicinity)

6. **Bikeways.** The county should install a pedestrian and bikeway system, including bikeway improvements recommended in the County Bikeways Plan, to connect recreation areas with residential and commercial areas. (C6) (Chapter 5: IX, Circulation Programs, C., Cayucos)
7. **Hardie Community Park Trail** The county should acquire an easement to develop a pedestrian/bicycle trail linking Hardie Park with the beach. This will link two important community recreation areas and help relieve parking problems. (C7) (Chapter 5: IX, Circulation Programs, C., Cayucos)
8. **Beach Access.** The county should continue to develop and maintain public walkways to the beach along Studio Drive and Pacific Avenue. (C8) (Chapter 5: IX, Circulation Programs, C., Cayucos)
9. **Acceptance of Dedications.** The county should continue to accept new offers of dedication to the public for beach access from Pacific Avenue and Studio Drive. (C9) (Chapter 5: IX, Circulation Programs, C., Cayucos)
10. **Shoreline Access Parking.** The county should acquire and improve off-street parking on the east side of Studio Drive near Nagel, Crawford, Cody or Haines Streets. (C10) (Chapter 5: IX, Circulation Programs, C., Cayucos)

11. **Improvement of Publicly-Owned Sites.** The County should develop existing publicly-owned sites with improvements such as the following (see Figure 8-1; addresses are those of adjacent properties and are for general location only):
 - a. 3430 Studio Drive: Development could include walkways, bicycle racks, bollards, signs, staircases, overlooks, and landscaping
 - b. 2616, 2827 and 3336 Studio Drive: Future development could include walkways, bicycle racks, bollards, signs, staircases, overlooks, and landscaping. Environmental impacts must be adequately mitigated.
 - c. 290 Pacific Street. Development could include a walkway, bicycle racks, bollards, signs, a staircase, overlook, and planting. (C11) (Chapter 5: IX, Circulation Programs, C., Cayucos)
12. **Old Creek and Willow Creek.** The State Department of Parks and Recreation should improve the state park at Old Creek and Willow Creek consistent with protection of creek and wetland habitats. Improvements should include adequate parking, restrooms and trails. (E2) (Chapter 4: VI, Programs, D., State Parks)
13. **Morro Strand State Beach Improvements.** The State Department of Parks and Recreation should complete the following improvements, consistent with protection of sensitive wetland habitat:
 - a. A paved parking area south of Old Creek.
 - b. Picnic tables and restrooms.
 - c. Interpretive signs describing the Old Creek lagoon and riparian habitat. (E3) (Chapter 4: VI, Programs, D., State Parks)

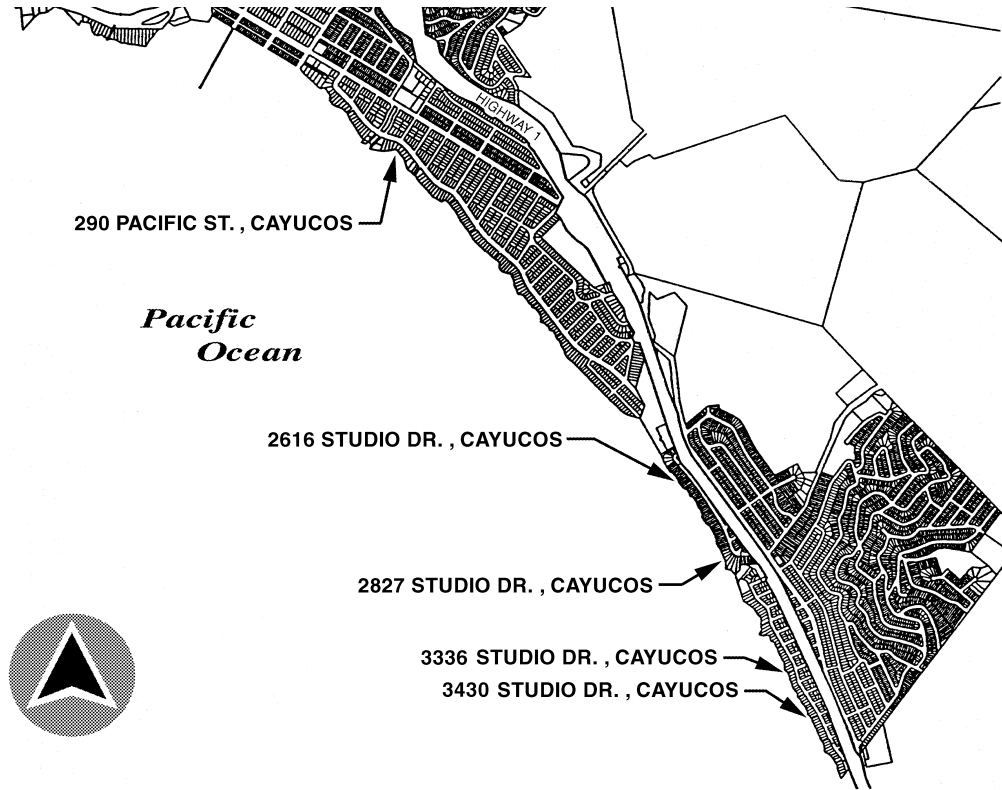


Figure 8-1: Improvement of Coastal Access-Cayucos

14. **Cayucos Parks.** The county should provide a total of about 28 acres of neighborhood and community parkland in Cayucos. The following or equivalent sites should be considered in order to meet this goal:

- a. **Cayucos Neighborhood Parks.** The county should develop two neighborhood parks in Cayucos. At least one of those parks should be located on the east side of Highway 1, such as the proposed park site located adjacent to Highway 1, near the cemetery.
- b. **Coastal Bluff Park and Coastal Access Between Cayucos and Morro Bay.** (see preceding item B2) (F2) (Chapter 4: VI, Programs, E., County Parks, Cayucos and Vicinity)

The following table summarizes the preceding recommended programs to be implemented by the county or other public agencies. In the table, the first column, "Program No.," identifies the program by its number in the preceding text. The second column, "Program," identifies the subject of the program. The column under "Responsible Agencies" lists which public and/or private agencies have primary responsibility for carrying out each program. The column, "Potential Program Funding," lists potential sources of funding for each program. The column, "Time Frame," identifies whether each program is expected to be carried out over a short, medium, or long-term period, or whether the program requires an on-going effort. The column, "Target Date," lists the estimated date by which each program should be implemented. The last column, "Priority," ranks each program according to whether it has a high, medium or low priority for implementation. This will help decision makers and the public decide how to allocate limited funds.

MANAGEMENT OBJECTIVES, ESTERO AREA PLAN PROGRAMS

Table 8-1: Schedule for Completing Recommended Programs

Program No.	Program	Responsible Agencies	Potential Program Funding	Timeframe	Target Date	Priority
1. Planning Areawide						
B1.	Offers-To-Dedicate	Co. Parks, Co. Planning	County, Grants	Short-Term	2005	High
B2.	Public Lands	County, Public Agencies	County, Public Agencies	On-Going	On-Going	High
2. Rural Area						
B3.	Cayucos Parks	Co. Parks, State Parks, Other Applicable Agencies	Facilities Fees, Grants, Developer	Long-Term	2010+	Medium-High
3. Cayucos						
B4.	Increased Downtown Parking	Co. Planning, Pub. Works	Assmt. Dst., Developer	Short-Med-Term	2005-2010	High
B5.	Parking and Downtown Enhancement	Co. Planning	Grants	Med-Term	2005-2010+	High
B6.	Bikeways	Pub. Works, Co. Parks	Grants	On-Going	On-Going	Medium
B7.	Hardie Park Trail	Co. Parks	Grants	Med-Term	2010	Medium
B8.	Beach Access	Co. Parks	County	On-Going	On-Going	High
B9.	Accepting Beach Access Dedications	Board of Supervisors	Not Applicable	On-Going	On-Going	High
B10.	Shoreline Parking	Pub. Works	County	Long-Term	2010+	Medium
B11.	Improvement of Publicly-Owned Sites	Co. Parks	County	Med-Term	2010	Medium
B12.	Old Creek and Willow Creek	State Parks	State	Long-Term	2010+	Medium
B13.	Morro Strand State Beach Improvements	State Parks	State	Long-Term	2010+	Medium
B14.	Cayucos Parks	Co. Parks, State Parks, Other Applicable Agencies	Facilities Fees, Grants, Developer	Long-Term	2010+	Medium-High
Co. Planning		County Department of Planning and Building				
Pub. Works		County Department of Public Works				
Co. Parks		County Department of General Services, Parks Division				
State Parks		State of California Department of Parks and Recreation				

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APPENDIX A: GENERAL COMMUNITY GOALS-CAYUCOS

The following general community goals are taken from the General Plan Update Report, Community of Cayucos, San Luis Obispo County, California, February 1992, prepared by the Cayucos Citizens Advisory Council. The goals were modified and reaffirmed by the Advisory Council on July 5, 1995.

1. The General Plan should take full advantage of the natural assets of the area, preserving the character of the planning area as beach resort with emphasis on the attraction of permanent year-round residents. The residential nature of the community should be stressed with provision being made for essential services to this type of community.
2. Efforts should be made to plan so that the visitor-serving and residential features of the community can coexist in harmony and supplement each other. Both features of the community should be emphasized to promote their excellent potential.
3. Planning should be done with consideration for preservation of the natural environment of Cayucos. The seashore and coastal area should be protected through minimal impairment of physical and visual accessibility.
4. Future development should be carefully planned and consistent with current community nature with concern toward balance necessary to successfully maintain a community of this character. Major development projects can have a devastating effect on a small community. Therefore, any projects of this nature should be carefully examined to see that they do not destroy the character of the community or so dominate it as to cause an imbalance between the residential and recreational elements of the community.

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APPENDIX B: GLOSSARY OF TERMS

- A. **Glossary of Terms.** Many of the following terms are used in the Estero Area Plan. Terms noted with a (C) are unique to the coastal zone of the county.

Absorption Capacity (population). The potential total population that would result from unconstrained growth and full development of all land to the maximum extent permitted within each land use category designated in the area plan.

Access. The means of vehicular entrance or exit to a parcel or building site (see also vertical and horizontal coastal access).

Agriculture. The work of producing crops and raising of livestock.

Agricultural Accessory Building. An uninhabited structure, designed and built to store farming animals, implements, supplies, or products, which is not used by the public. This definition does not include commercial greenhouses or buildings for agricultural processing activities.

Agricultural Soils, Prime. (C) Prime agricultural soils or land means any of the following:

1. All land which qualifies for rating as class I or II in the Soil Conservation Service land use capability classifications.
2. Land which qualifies for rating 80 through 100 in the Storie Index Rating.
3. Land which supports livestock used for the production of food and fiber and which has an annual carrying capacity equivalent to at least one animal unit per acre as defined by the U.S. Department of Agriculture.
4. Land planted with fruit or nut bearing trees, vines, bushes or crops which have a nonbearing period of less than five years and which will normally return during the commercial bearing period on an annual basis from the production of unprocessed agricultural plant production not less than \$200 per acre.

Agricultural Soils, Non-Prime. Areas of land that do not contain prime agricultural soils but are classified in the Agriculture land use category by the Land Use Element of the San Luis Obispo County General Plan.

Allowable Use. "See Use, Allowable."

Antiquated Subdivision. An older subdivision that no longer meets current standards for size, location, services, or other standards defined by the Subdivision Map Act and Local Coastal Program. See definition in Chapter 23.11 of the Coastal Zone Land Use Ordinance.

Approval Body. See "Review Authority."

Aquaculture. (C) The culture and husbandry of aquatic organisms, including but not limited to shellfish, mollusks, crustaceans, kelp and algae.

Archaeological Resource. Any Native American or Pre-Columbian artifact or human remains.

Archaeologically Sensitive Areas. (C) Areas where there is a high likelihood of the existence of archaeological resources as shown on the Land Use Element (Part III) combining designation maps and other information on file with the Planning Department.

Area Plan. The portion of the Local Coastal Program that consists of the Land Use and Circulation elements for each planning area.

Arterial Road. A freeway, expressway, or principal county road that connects major population centers and other points of traffic generation.

Articulation. Horizontal and vertical variation in the surface plane of a structure. For example, a cube has no articulation. By adding and subtracting vertical and horizontal elements to or from the cube, a more interesting shape may be achieved.

Buildout, Buildout Capacity (population). An estimate of the probable ultimate number of dwelling units or population that can be expected within the land use categories in the area plan, including any limitations on density imposed by standards in the plan or the Coastal Zone Land Use Ordinance. Buildout figures are typically adjusted to take into account constraints on development due to physical limitations and market demand.

Building. Any structure having a roof supported by columns and/or walls and intended for shelter, housing, and/or enclosure of any person, animal or chattel, but not including tents.

Building Height. The vertical distance from the average level of the highest and lowest point of that portion of the lot or building site covered by the building to the topmost point of the structure, excluding chimneys or vents according to the Coastal Zone land Use Ordinance. In some areas height may be measured from the centerline of the fronting road.

Building Site. The area within a lot of record (or contiguous lots under single ownership) actually proposed for development with buildings or structures, including areas immediately adjacent to the buildings or structures to an extent equivalent to any required setback areas.

Census. The tabulation of population and other data every 10 years by the United States Census Bureau.

Central Business District (CBD). An area of concentrated retail trade identified by the Land Use Element for each urban area.

Channel. The area occupied by the normal flow of an intermittent or perennial stream during non-flood conditions.

Circulation, Circulation System. The system or act of providing for the orderly movement of people and goods by such means as highways, streets and alleys, bikeways, sidewalks, trails, railroads, airplane flight, ships and boats, electrical and pipeline transmission, and other means of transportation.

Clustered or Concentrated Development. Land divisions and other development subject to discretionary review that are designed according to standards in the Estero Area Plan in order to protect sensitive features such as environmentally sensitive areas, visually sensitive areas and areas subject to hazards. The Estero Area Plan provides several options to design a compact form of development that permanently protects sensitive features in larger contiguous areas of open space rather than smaller, disconnected pockets of open space.

Coastal Act. (C) The California Coastal Act of 1976.

Coastal Bluff. (C) A steep bank or cliff generally having a relief of 10 feet or more and the toe of the bluff may be subject to marine erosion.

Coastal Commission. (C) The California Coastal Commission as established by the California Coastal Act of 1976.

Coastal-Dependent Development or Use. (C) Any development or use that requires a permanent location on or adjacent to the ocean.

Coastal Plan. (C) See "Local Coastal Plan," "Local Coastal Program."

Coastal Streams and Riparian Vegetation. (C) Streams and adjacent riparian vegetation appearing as dotted or dashed blue lines on the 7.5 minute USGS topographic quadrangle maps, and shown on the Combining Designation maps of the Land Use Element.

Coastal Zone. (C) The portions of the California Coastal Zone within San Luis Obispo County established by the California Coastal Act of 1976.

Collector Road. A road that enables traffic to move to and from local roads, centers of population, or carries large volumes of traffic within an urban or rural area.

Combining Designations. Areas identified by the Land Use Element with characteristics that are either of public value, or are hazardous to the public. Combining Designations have special design and permit requirements established.

Commercial Category. Includes either or both of the Commercial Retail or Commercial Service land use categories as defined by the Land Use Element.

Community Sewer System. A sewage effluent collection network, treatment and disposal facilities provided within a prescribed service boundary, which results in the primary, secondary, or tertiary treatment of such effluent.

Community Water System. A water storage and distribution network for the provision of potable water to the public for human consumption, within a prescribed service boundary, operated and maintained by a public agency, or private company approved by the Board of Supervisors. The system must comply with the provisions of the California Safe Drinking Water Act and all applicable laws and standards relating to domestic water supply.

Construction. Any site preparation, assembly, erection, substantial repair, alteration or similar action, for or of rights-of-way, structures, utilities or similar property.

Coverage. Site or lot coverage means the extent of a lot of record occupied by structures and paving.

Density. The measure of the ratio of population to the area of land occupied by that population, which may be expressed as dwelling units per acre, families per acre, persons per acre, or conversely as acres per dwelling unit or square feet per dwelling unit. "Gross density" is the number of lots derived from dividing the area of a site by the area required for each lot or dwelling unit. "Net density" is the number of lots resulting from subtracting the area required for streets (in the case of a subdivision) from the total area of the undivided site, and then dividing the remaining area by the area required for each lot.

Design Plan. A conceptual or detailed plan for a commercial or other area illustrating how it could be developed in the future to carry out design principles, such as those included in the applicable area plan.

Development. (C) Pursuant to PRC 30106, "Development" means, on land, in or under water, the placement or erection of any solid material or structure; discharge or disposal of any dredged material or of any gaseous, liquid, solid, or thermal waste; grading, removing, dredging, mining, or extraction of any materials; change in the density or intensity of use of land, including, but not limited to, subdivision pursuant to the Subdivision Map Act (commencing with Section 66410 of the Government Code), and any other division of land, including lot splits, except where the land division is brought about in connection with the purchase of such land by a public agency for public recreational use; change in the intensity of use of water, or of access thereto; construction, reconstruction, demolition, or alteration of the size of any structure, including any facility of any private, public, or municipal utility; and the removal or harvesting of major vegetation other than for agricultural purposes, kelp harvesting, and timber operations which are in accordance with a timber harvesting plan submitted pursuant to the provisions of the Z'berg-Nejedly Forest Practice Act of 1973 (commencing with Section 4511).

As used in this section, "structure" includes, but is not limited to, any building, road, pipe, flume, conduit, siphon, aqueduct, telephone line, and electrical power transmission and distribution line.

Development Plan. A type of land use permit intended to enable public review of significant land use proposals. Requirements for Development Plans are contained in the Coastal Zone Land Use Ordinance.

Discretionary Review. Processing of applications for entitlements under the provisions of the Coastal Zone Land Use Ordinance (CZLUO) that require the exercise of judgement and the resolution of factual issues to determine if the application and required entitlement conform with the provisions of the CZLUO. Generally, entitlements subject to discretionary review, such as a Minor Use Permits and Development Plans, require decisions to approve, approve subject to conditions or disapprove, based on judgement of the review authority.

Driveway. A vehicular access from a road that serves no more than two structures, with no more than three dwelling units on a lot of record and any number of accessory structures.

Dwelling Unit. An independent, attached or detached residential building designed to house and provide living space, including kitchen and bathroom facilities, for an individual family.

Easement. A legal restriction on the future use of land afforded a person or persons to make limited use of another's real property for access, utilities, conservation, or other purposes.

Ecosystem. All the components of a biological community and the physical environment, and the interactions among and between them. Examples are grasslands, forests and sand dunes.

Element. One of the mandatory or optional parts of the general plan; for example, the Land Use Element or the Housing Element.

Environmentally Sensitive Habitat. (C) A type of Sensitive Resource Area where plant or animal life or their habitats are either rare or especially valuable because of their special nature or role in an ecosystem and which could be easily disturbed or degraded by human activities and development. They include wetlands, coastal streams and riparian vegetation, terrestrial and marine habitats and are mapped as Land Use Element combining designations.

Environmental Coordinator. The environmental coordinator of the county of San Luis Obispo.

Estuary. (C) A semi-enclosed, coastal water body receiving open or intermittent exchange with the ocean and fresh water from the land. Estuaries are valuable ecosystems that typically support a high diversity of plant and animal life and provide spawning grounds and nurseries for much of the seafood we eat.

Existing Plan. (C) The existing North Coast Area Plan and other applicable land use regulations adopted by the county and the California Coastal Commission.

Feasible. Capable of being accomplished in a successful manner within reasonable period of time, taking into account economic, environmental, social and technological factors.

Fill. A deposit of earth material placed by artificial means.

Fire Hazard. The measure of the potential for range, brush and forest fires based upon the type of plant community, as defined and mapped by the Safety Element.

First Public Road Paralleling the Sea. (C) As defined in Section 30115 of the Public Resources Code, the "first public road paralleling the sea" means that road nearest to the sea which:

1. Is lawfully open to uninterrupted public use and is suitable for such use;
2. Is publicly maintained;
3. Is an improved, all-weather road open to motor vehicle traffic in at least one direction;
4. Is not subject to any restrictions on use by the public except when closed due to an emergency or when closed temporarily for military purposes; and
5. Does in fact connect with other public roads providing a continuous access system, and generally parallels and follows the shoreline of the sea so as to include all portions of the sea where the physical features such as bays, lagoons, estuaries, and wetlands cause the waters of the sea to extend landward of the generally continuous coastline.

(In many areas of the county the first public road and the sea is Highway One.)

Flood, 100-Year. A flood inundation event, the extent of which has a statistical probability of occurring once every 100 years.

Flood or Flooding: A general and temporary condition of partial or complete inundation of normally dry land areas from:

1. The overflow of inland or tidal waters and/or
2. The unusual and rapid accumulation of runoff of surface waters from any source.

Flood Plain. Land that has been or may be hereafter covered by flood water, including but not limited to the 100-year flood.

Flood Profile, Storm. A graph or longitudinal profile showing the relationship of the water-surface elevation of a flood event to location along a stream or river.

Floodway. The channel of a river or other watercourse and the adjacent land areas that must be reserved to discharge the 100-year flood without cumulatively increasing the water surface elevation more than one (1) foot. The floodway is delineated on the "Flood Boundary Floodway Map."

Floor Area. Includes the total floor area of each floor of all buildings on a site, including internal circulation, storage and equipment space, as measured from the outside faces of the exterior walls, including enclosed halls, lobbies, stairways, elevator shafts, enclosed porches and balconies.

General Plan, County General Plan. The comprehensive, long-term plan for the physical development of the county, prepared and adopted in accordance with Section 65300 et. seq. of the California Government Code. The general plan

comprises an integrated, internally consistent and compatible statement of policies. The general plan consists of seven mandatory parts, called elements, that address land use, circulation, housing, conservation, open space, noise and safety.

Goals. Statements in the general plan that describe the vision for the future of an area. Goals are expanded on and implemented by policies, programs and standards found in the general plan and area plans.

Grade. The vertical location of the ground surface, as follows:

1. Existing or Natural Grade: The contour of the ground surface before grading.
2. Rough Grade: The stage at which the grade approximately conforms to the approved plan.
3. Finish Grade: The final terrain contour of the site that conforms to the approved grading plan.

Grading. Any excavating, filling or combination thereof. See Section 23.05.020 of this title.

Grazing. The keeping (for commercial purposes) of cattle, horses or sheep at a density of four or less animals per acre, using feed produced on the site.

Greenbelt. A concept created over 100 years ago by Ebenezer Howard, who envisioned "an agricultural country belt" around his "garden city" to maintain its urban integrity, maintain the rural environment and prevent urban areas from spreading into each other. Greenbelts are used for a variety of purposes, such as preventing urban sprawl, and protecting rural character, agricultural lands, sensitive habitat, and scenic qualities.

Groundwater. The water contained in interconnected pores of subsurface materials located in an aquifer.

Groundwater Basin. An underground reservoir of groundwater that is generally separate from adjacent groundwater reservoirs, and may be separated by geologic or hydrologic boundaries.

Gross Acreage or Site Area. The total area of a legally created parcel (or contiguous parcels of land in single or joint ownership when used in combination for a building or permitted group of buildings), including any ultimate street rights-of-way, existing rights-of-way deeded to the parcel, and all easements (except open space easements) across the site.

Guesthouse. Sleeping facilities detached from a principal residence, which may include a bathroom and other living space, but not kitchen facilities.

Guideline. An advisory statement in an area plan and other parts of the general plan that provides direction on how to implement the goals and policies of the general plan.

Height. See "Building Height."

Household. An occupied housing unit.

Improvements. Includes any structures or mobilehomes for which a building or installation permit is required.

Incidental Camping Area. Any area or tract of land where camping is incidental to the primary use of the land for agricultural or other uses listed by the Land Use Element as allowable in the Agricultural or Rural Lands category, and where one or more camp- sites are rented or leased or held out for rent or lease.

Infill Development. Development of vacant land (usually individual lots or left-over properties) within areas which are already largely developed.

Lagoon. (C) See "Wetland" and "Estuary."

Land Division, Division, Subdivision. Any real property which is divided into two or more parts or parcels for any purpose, whether identified by metes and bounds description, deed, map, record of survey, or in any other way, including court decrees, gifts or interstate or testamentary disposition. Division or subdivision includes a condominium project as defined in Civil Code section 1350, a community apartment project as defined in Business and Professions Code section 11004, or the conversion of five or more existing dwelling units to a stock cooperative as defined in Business and Professions Code section 11003.2.

Land Use Category. One of 13 designations in the county General Plan regulating allowable uses, parcel sizes, density and intensity of development, and other factors.

Land Use Element (LUE). The Land Use Element of the San Luis Obispo County General Plan adopted under Section 65302 of the California Government Code.

Land Use Permit or Entitlement. (C) A ministerial or discretionary permit that grants an applicant the authority to establish a use of land only after obtaining additional building and/or grading permits, as required, and serves as the local government equivalent of a coastal development permit in accordance with the Coastal Act. Land use permits are the Plot Plan, Site Plan, Minor Use Permit, Development Plan or Variance.

Land Use Plan. (C) The land use plan of the San Luis Obispo County Local Coastal Program, which is combined with the Land Use Element of the San Luis Obispo County General Plan.

Lateral Access. (C) A recorded dedication or easement providing for public access and use along the shoreline.

Level of Service (LOS). A rating system used to describe operational conditions of roadways. Levels of service range from LOS "A" to "F." LOS "A" is free flow of traffic, with unlimited freedom to maneuver and select desired speed. LOS "F" is forced flow of traffic, with stoppages for long periods.

Local Coastal Plan. (C) The Local Coastal Program Land Use Plan, which is a portion of the county's Local Coastal Program as certified by the California Coastal Commission. The Local Coastal Plan consists of the Policy Document, Land Use Element Programs and Standards (Part II of the LUE) and Land Use Element Maps (Part III of the Land Use Element).

Local Coastal Program (LCP). (C) Consists of (a) the Local Coastal Plan, (b) the Coastal Zone Land Use Ordinance, and (c) other implementing actions for the coastal zone of the county which meets the requirements of the California Coastal Act of 1976 as certified by the California Coastal Commission.

Local Road. A road that is used primarily for access to adjacent property.

Long-term Sustainable Yield (of a groundwater basin). The average amount of groundwater that can be extracted from a groundwater basin over a sustained period of time without depleting the storage of fresh water or degrading water quality.

Lot Line Adjustment. An adjustment of the property lines between two or more adjacent parcels, where the land taken from one parcel is added to an adjacent parcel and where a greater number of parcels than originally existed is not thereby created.

Marine Habitats. (C) Sensitive habitat areas for marine fish, mammals and birds as shown on the Combining Designation maps of the Land Use Element.

Marine Sanctuary Programs. (C) A federal or state program developed to preserve unique and sensitive ocean waters.

Mean. The average, a number between the smallest and the largest of a set of values.

Median. Designating the middle number in a series of numbers.

Minimum Parcel Size or Area. The area established in Sections 23.04.020 et. seq. of the Coastal Zone Land Use Ordinance.

Minimum Site Area. The smallest lot of record or contiguous lots in a single ownership, as determined by the planning area standards of the Land Use Element, Section 23.04.040 or Chapter 23.08 of the Coastal Zone Land Use Ordinance, on which a new land use may be established. This is measured as net site area (See "Site Area, Net").

Ministerial Permit. Any permit that may be issued under the provisions of this Title without review by the Planning Commission or Board of Supervisors. A ministerial decision involves only the evaluation of a proposal with respect to fixed standards or objective measurements, without the use of subjective criteria.

Minor Use Permit. A type of land use permit intended to satisfy the notice and public hearing requirements established by the California Coastal Act for Plot Plans and other appealable land use permits, and enable public review of significant land use proposals which are not of sufficient magnitude to warrant Planning Commission review. Requirements for Minor Use permits are contained in the Coastal Zone Land Use Ordinance.

Mitigation or Habitat Banking. A method to mitigate the effects of development on sensitive habitat that is an alternative to on-site mitigation. An example is allowing an applicant for a development project to contribute environmental mitigation fees into a habitat bank that can be used toward the purchase or restoration of important habitat elsewhere.

Mixed Use Development. Development that includes a combination of different land uses on the same site, typically commercial and residential uses in commercial areas.

Monterey Pine (Cambria Variety). A Monterey pine species occurring in the Cambria area and unique to only 3 locations in California. The species is named *Pinus Radiata* var. *macrocarpa*.

Non-Prime Soils. See "Agricultural Soils, Non-Prime."

Non-Residential Use. All uses of land including agricultural, communication, cultural, educational, recreation, manufacturing, processing, resource extraction, retail trade, services, transient lodging, transportation and wholesale trade uses, except facilities for residences.

Offer of Dedication, Offer to Dedicate. An offer to dedicate interests in real property for specified public purposes such as roadways or utilities, typically made by a developer in connection with a land division or other development project.

Open Area. All areas of a lot not included within the definition of floor area: parking, recreation spaces, passive open areas, landscaped areas and other open, unpaved areas of the site.

Owner. The person or persons, firm, corporation or partnership that is the owner of record of a premises identified on the last equalized assessment roll.

Ownership. Ownership of one or more parcels of land (or possession under a contract to purchase or under a lease, the term of which is not less than 10 years) by a person or persons, firm, corporation or partnership, individually, jointly, in common or in any other manner whereby such property is under single or unified control.

Parcel.

1. A parcel of real property shown on a subdivision or plat map, required by the Subdivision Map Act (or local ordinance adopted pursuant thereto) to be recorded before sale of parcels shown on the map or plat, at the time the map was recorded;
2. A parcel of real property that has been issued a certificate of compliance pursuant to Government Code Section 66499.35; or
3. A parcel of real property not described in a or b above, provided the parcel resulted from a separate conveyance or from a decree of a court of competent

jurisdiction which was record before the requirement of the filing of the subdivision map by the Subdivision Map Act or local ordinance adopted pursuant thereto.

Permit. Any formal authorization or entitlement from, or approval by the County, the absence of which would preclude establishment of a land use, activity, construction project, grading or surface mining operation.

Planned Development. A type of "common interest development" (other than a community apartment project, a condominium project or a stock cooperative) that has either or both of the following features, as defined in California Civil Code section 1351: (1) Any contiguous or noncontiguous lots, parcels or areas in which owners of separately owned lots, parcels or areas are owners in common, possessing appurtenant rights to the beneficial use and enjoyment of the commonly owned property; or (2) A power exists in the management association to enforce an obligation of an owner of a separately owned lot, parcel or area with respect to the beneficial use and enjoyment by means of an assessment which may become a lien upon the separately owned lot, parcel or area.

Planning Area. One of thirteen planning areas as identified in the Land Use Element. Four are located in the coastal zone of the county.

Planning Area Standards. Development criteria established by the Land Use Element for specific areas.

Planning Department. The San Luis Obispo County Department of Planning and Building, including the Director of Planning and Building and all subordinate employees.

Planning Director. The Director of Planning and Building of San Luis Obispo County with duties and responsibilities as set forth in Section 23.01.040 of the Coastal Zone Land Use Ordinance. Planning director may include designated staff of the Planning Department when acting in an official capacity.

Plot Plan. A ministerial land use permit, the approval of which certifies that the land use or development will satisfy all applicable provisions of the Land Use Ordinance or Coastal Zone Land Use Ordinance. A ministerial permit is issued without review by a hearing officer, the Planning Commission or the Board of Supervisors, and involves the evaluation of a proposal only with respect to fixed standards or objective measurements, without the use of subjective criteria.

Policies. Statements in the general plan that expand on and implement the goals in the general plan and area plans. Policies, in turn, are implemented by programs and standards found in the general plan and area plans.

Prime Soils. (C) See "Agricultural Soils, Prime."

Principal Permitted Use or Primary Permitted Use. (C) A use of land specifically encouraged by policies and standards of the Local Coastal Program in a specific land use category. Also includes "principally permitted uses".

Programs. Recommended, non-mandatory actions found in the general plan and area plans to achieve specific objectives. Programs are implemented by the county or other public agency identified in the program itself.

Project. Any land use, activity, construction or development which required to be authorized by a permit pursuant to this Title before beginning construction or establishment of the use.

Residence. See also "Dwelling."

Residence, Primary and Secondary. A primary residence is one single-family dwelling constructed on a lot. A secondary residence is an additional single-family dwelling on the same lot permitted under the provisions of Section 23.04.082 or 23.08.036 of the Coastal Zone Land Use Ordinance.

Residential Category or Area. Any Residential land use category as identified in the Land Use Element; indicates reference to any or all of the residential land use categories (including Rural, Suburban, Single-Family, or Multi-Family).

Review Authority. The individual or group identified by the Coastal Zone Land Use Ordinance as having the authority to take action to approve, approve subject to conditions or disapprove a land use permit application pursuant to the Coastal Zone Land Use Ordinance; either the Planning Director, Subdivision Review Board, Planning Commission, or Board of Supervisors.

Right-of-Way. A public road, alley, pedestrian or other access right-of-way with width described in recorded documents.

Riparian Habitat. (C) An area of stream related vegetation and associated animal species.

Riparian Vegetation. (C) An association of plant species growing adjacent to freshwater watercourses, including perennial and intermittent streams, lakes and other bodies of fresh water.

Road. An access way (improved or unimproved) that provides vehicles or pedestrians a means to pass from one location to another.

Runoff. The total amount of water that flows over land and in streams.

Rural Area (or category). Any area or land use category outside of the urban or village reserve lines established by the LUE.

Sedimentation. The addition of soil materials through erosion to a stream or water body that increases the turbidity of the water.

Senior Citizen Housing. Residential development that is either a) specifically designed to meet the physical and social needs of persons aged 62 and over; or b) 35 or more dwellings that are specifically designed to meet the physical and social needs of persons aged 55 and over. Senior citizen housing includes accommodations for independent living and/or assisted living.

Sensitive Coastal Resource Area. (C) Means those identifiable and geographically bounded land and water areas within the coastal zone of vital interest and sensitivity, pursuant to Section 23.01.043c(3) of the Coastal Zone Land Use Ordinance.

Sensitive Features or Sensitive Habitat. As defined in the Estero Area Plan, areas containing any of the following: (1) sensitive Resource Area combining designations (SRAs) or Environmentally Sensitive Habitats as shown in the Land Use Element and Local Coastal Plan; (2) ecologically significant areas of oak woodland, coastal strand, coastal sage scrub, dune scrub, and maritime chaparral communities--whether or not identified as SRAs--as defined in the Final EIR for the Estero Area Plan Update and as confirmed in a biological report; (3) all riparian habitat corridors, including riparian woodland and riparian scrub communities as defined in the Final EIR for the Estero Area Plan Update--whether or not they border "blue line" streams as indicated on U.S.G. S. quadrangle maps--as confirmed in a biological report; (4) rare, endangered or threatened species as listed by federal or state agencies or as defined in the State CEQA Guidelines; (5) other significant stands of vegetation, such as Bishop pine, eucalyptus, and cypress that do not need to be removed due to hazardous condition or restoration/enhancement of native habitat.

Sensitive Resource Area (SRA). A combining designation applied by the Official Maps (Part III) of the Land Use Element to identify areas with special environmental qualities, or areas containing unique or endangered vegetation or habitat.

Setback. An open area on a lot between a building or structure and a property line or other site feature specified by the Coastal Zone Land Use Ordinance, unoccupied and unobstructed from the ground upward, except as otherwise provided in Section 23.04.100 (Setbacks).

Small Scale Recreational Development. Parks, beaches, overnight facilities of less than 20 rooms or campsites, including incidental and supporting food service, sanitary facilities and storage.

Site. A land parcel or parcel(s) that are the location of a proposed development project or entitlement.

Site Area, Gross. The total area of a legally created parcel (or contiguous parcels of land in single or joint ownership when used in combination for a building or permitted group of buildings), including any ultimate street right-of-way, existing rights-of-way deeded to the parcel, and all easements (except open space easements), across the site.

Site Area, Net. The gross site area minus any ultimate street rights-of-way and any easements (except open space easements) that limit the surface use of the site for building construction.

Site Area, Usable. Net site area minus any portions of the site that are precluded from building construction by natural features or hazards, such as areas subject to inundation by tides or the filling of reservoirs or lakes.

Specific Plan. A plan that implements the general plan for all or part of the area covered by the general plan. A specific plan is prepared and adopted in accordance with sections 65450 et. seq., of the California Government Code. It details the locations of land uses, circulation and infrastructure facilities; development standards and criteria; implementation measures, including financing measures; the relationship to the general plan; and other subjects that are necessary or desirable for implementation of the general plan.

Story. Usable floors of a building, except that where this ordinance or a Land Use Element planning area standard use stories as a measurement of building height, basements or building floors six feet or more below street level are not included.

Stream. (C) A waterway that is identified on U.S.G.S. Survey maps with a blue line, commonly called "blue line streams". See also "Coastal Streams and Riparian Vegetation".

Street. A access that provides the principal means of vehicle access to abutting property.

Street Tree. Any plant material located adjacent to a public street, having the capability of growth that will produce a vegetative canopy above a trunk not less than 10 feet high.

Structure. Any artifact constructed or erected, the use of which requires attachment to the ground, including any building, but not including fences or walls six feet or less in height.

Structure, Accessory. A structure, the use of which is incidental to that of a principal structure on the same lot. May be either detached, or attached if part of the principal structure.

Subdivision Map, Tentative or Final. As defined in Title 21 of the County Code and the State Subdivision Map Act, Government Code Section 6640 et seq.

Subject Site. A parcel or parcels of land which are the intended or actual location of a land use or land development project which is the subject of an application for land use permit, construction permit, variance or adjustment, or an amendment to the Land Use Element.

Table O. When used in the Local Coastal Program, shall mean Coastal Table 'O', the allowable uses chart, Part I of the Land Use Element.

TDC. A transferable development credit. A credit is a capital asset and development means the asset has a value for construction of a single family dwelling or other form of development. Transferable means the credit can be bought, sold, or traded.

TDC (Transfer of Development Credits) Program. A voluntary program developed for the use of TDC's that identifies sending areas, receiving areas, and a way to get the proposed development from one place to another. Also includes the legislative, administrative, financial, and organizational structure to implement the use of TDC'S. The Los Osos Community-Based TDC Program is a voluntary

program intended to help establish a greenbelt around Los Osos and protect sensitive habitat and scenic areas by shifting development potential from sensitive and scenic areas called TDC sending sites (TDCS) to other areas that are appropriate for additional development, called TDC receiving sites (TDCR).

Terrestrial Habitat. (C) Sensitive animal or plant habitats on land areas in the Coastal Zone, identified as Combining Designations in the Land Use Element.

Topsoil. The upper strata of soil materials which is of most value for supporting vegetation, generally not exceeding two feet in depth, and occasionally more shallow, depending on the site.

Traffic Calming. The name for a variety of measures that can be used to slow-down traffic, improve safety and promote a more pedestrian-friendly environment in residential neighborhoods and commercial areas. Examples of traffic calming measures are reducing widths of existing streets and designing narrower streets in new development, and installing traffic circles, speed humps, and raised crosswalks.

Unit. See "Dwelling."

Urban Area. Any area within the urban reserve lines established by the Land Use Element of the general plan.

Urban reserve line (URL). The boundary around an urban area that separates urban land uses from the adjacent rural area, defining land that is planned for urban growth within the next 20 years.

Urban service line (USL). (C) A line within a urban reserve line encompassing areas where urban services are now provided, or where such services are expected to be extended to in the next 5 to 10 years. In the coastal zone, the USL is the Urban-Rural boundary.

Useable Parcel. A parcel of real property for which a land use permit can be obtained under the provisions of the Coastal Zone Land Use Ordinance.

Use, Allowable. A use of land identified in the Land Use Element as being possible to establish in a given land use category subject to the standards of the Land Use Ordinance and with either a ministerial or discretionary permit. An "A", "S" or "P" use on Coastal Table 'O', Part I of the Land Use Element.

Use, Principally Permitted. (C) An allowable use of land that is encouraged to locate within a specific land use category by the Local Coastal Program (a "P" use on the Allowable Uses Chart, Coastal Table 'O' of the Land Use Element).

Use, Residential. Any use listed in the Land Use Element in the residential group.

Use, Special. An "S" use on Table 'O', Part I of the Land Use Element, identified as "allowable subject to special standards," for which standards are established by Chapter 23.08.

Vertical Access. (C) A recorded dedication or easement, or improvement providing access from the first public road to the ocean or perpendicular to the shore.

Viewshed. The area that is visible from specified locations, typically public roads and other public places.

Village Area. Settlements in the county where homes are grouped that have a greater density than the surrounding rural areas, but which are not self sufficient communities.

Village Reserve Line (VRL). A boundary around a village that distinguishes it from the adjacent rural areas.

Visitor-Serving Priority Area (V). (C) A combining designation in the Land Use Element applied to areas designated in the Commercial or Recreation land use categories. Limited to areas that presently or are proposed to serve tourists or visitors to the coast. In such areas, visitor-serving uses have priority over non-visitor serving uses but not over aquaculture or coastal-dependent uses.

Visitor-Serving Uses or Development. (C) Land uses or development that serve tourists and visitors to the coast, including hotels and motels, restaurants, gift shops, and art galleries. Visitor-serving uses or development also include recreational facilities for ocean and pier fishing, boating, beach activities, scuba diving, nature study, picnicking, bicycling, hiking, camping, horseback riding, and other recreational activities.

Watercourse. The normal channel or limits of an intermittent or perennial stream, or other body of water, during non-flood conditions.

Watershed. A drainage basin, which is the land area from which surface runoff drains into a stream system.

Wetland. (C) Lands that may be covered periodically or permanently by shallow water, including saltwater marshes, freshwater marshes, open or closed brackish water marshes, swamps, mudflats, and fens.

APPENDIX C: ALLOWABLE USES IN THE COASTAL ZONE

<https://www.slocounty.ca.gov/departments/planning-building/forms-documents/ordinances/coastal-allowable-land-use-categories>

APPENDIX D: COASTAL ACCESS INVENTORY

I. INTRODUCTION

The Estero Planning Area offers a wide variety of public access opportunities, including highly accessible beaches, two state parks, and formal and informal accessways to the Morro Bay estuary. Existing and potential coastal accessways are discussed in the following paragraphs. Following that is a detailed inventory (Table E-1) and maps of existing accessways and offers-to- dedicate lateral and vertical access to the coast. All of this information should be evaluated and updated periodically.

II. OVERVIEW OF EXISTING AND POTENTIAL COASTAL ACCESS

A. Rural Area

Much of the shoreline in the rural portion of the planning area is owned and managed by the State Department of Parks and Recreation. There is good existing access in much of the rural area, including new, formal access adjacent to the Morro Bay estuary.

On the coastal terrace west of Cayucos, at the west end of the property formerly owned by Estero Bay Properties, there has been significant trespassing. At this location, there is a loop road used for parking. Access to the shoreline occurs through a hole in the property fence and down to the bluff edge along a well-worn trail. Further west at Villa Creek near the western planning area boundary, there is a well-used turnout; however, there is no physical access to the shoreline. These turnouts and trespass areas are significant because they offer the only rural area shoreline access between the city of Morro Bay and Cambria.

Recently, the property formerly owned by Estero Bay Properties and one other private ownership that cover the area between Cayucos and Villa Creek have been acquired for conservation purposes. These properties stretch over about four miles of undeveloped coastline, offering spectacular views of the coast and ocean, and excellent opportunities for coastal access. Formal coastal access should be planned for, consistent with protection of sensitive habitat and compatibility with possible agricultural use.

In the rural areas north of the city of Morro Bay, there is no apparent open coastal access at this time. Between the city of Morro Bay and Cayucos, there are two turnouts or street ends used for parking. Access to the coast occurs through holes in the fence at this site.

South of the city of Morro Bay along South Bay Blvd. is the Los Osos Creek estuary. Access exists from South Bay Blvd. in the vicinity of Turri Road. Also in this vicinity, the State Department of Parks and Recreation plans to build a staging area, interpretive site and trail overlooking the estuary on the west side of South Bay Blvd. opposite Turri Road. Future access should be compatible with the fragile environment and soft soils of this area.

The Elfin Forest is a publicly-owned and managed Natural Area identified in the Agriculture and Open Space Element of the county General Plan. The public ownership extends from South Bay Blvd. and Santa Lucia Ave. (north of and parallel to Santa Ysabel Ave.) to and along the shoreline of the Morro Bay estuary. The Elfin Forest contains a diverse and complex assemblage of natural plant communities, including pygmy oak woodland. Recently, a boardwalk loop trail and overlooks with access from 16th Street were built. Future trail connections are possible.

The shoreline south of Los Osos, including the Morro Bay sandspit, is almost entirely owned by the State of California and operated as Montaña de Oro State Park. This area is open for public use, but coastal access is somewhat limited north of the ranger station at park headquarters. Along Pecho Valley Road are several scenic viewsheds. There are also some existing turnouts/vista points and trailheads.

Until recently, one coastal accessway in Montaña de Oro State Park was Army Road, a dirt road leading from Pecho Valley Road to the Morro Bay sandspit near Rodman Drive. It had been well-used before it was closed to vehicular traffic by the State in order to protect fragile habitat. However, an access road (Sandspit Road), parking area, and interpretive sign were recently installed further south to enhance beach access.

Coastal access improvements should be considered for other areas within Montaña de Oro State Park. One such area is at Hazard Canyon, which is currently used as an informal turnout/parking area for hikers and surfers. At that location, a future parking area and improved beach trail are planned.

B. Cayucos

In general, the shoreline along Cayucos is highly accessible to the public via a series of beach walks and stairways leading to Cayucos Beach and Morro Strand State Beach. Many coastal accessways are developed. Most of the street ends that dead-end at the shoreline or on the coastal bluff edge are already improved. Vertical access to the shore is provided by several access lanes and many stairways maintained by the county. Further improvement at Morro Strand State Beach would enhance public access. The following is an inventory and discussion of access in Cayucos by neighborhood:

Locarno

This is the northernmost neighborhood in Cayucos. There is little physical access to the shoreline in the Locarno area because the entire area is on a high, steep bluff. Many lateral access easements (accepted offers-to-dedicate lateral access) exist seaward of Lucerne Road, as well as one vertical access easement. However, in general, vertical access down to the bluff may be dangerous in this area, where vertical accessways may be best improved as scenic overlooks at the bluff edge. Therefore, lateral access is a lower priority in this area.

Paso Robles Beach

North Ocean and Pacific Avenues are major streets providing access to the shoreline. North Ocean Avenue separates the central business district from Cayucos Beach and

the boardwalk area. Pacific Avenue is a residential street developed mostly with single family homes on the ocean side. At the southern end of the Paso Robles Beach neighborhood, there is ample parking for, and access to Morro Strand State Beach, which is developed with restroom /shower facilities. Overall, access in the Paso Robles Beach neighborhood is very good.

Cayucos Beach is a developed, sandy beach with parking, a boardwalk and fishing pier, and restroom/shower facilities. This beach is easily accessible from the Cayucos central business district.

Along Pacific Avenue, there are a number of improved corridors from the street to the bluff edge, with stairs down to the beach. Each of these corridors has signs and is developed with a path to a wood staircase down the bluff to the beach below. Most also include parking and bicycle racks, and are controlled with bollards. Other improvements include viewing platforms and landscaping. These accessways appear to be used mostly by area residents rather than visitors.

Studio Drive

The Studio Drive neighborhood is similar in character to the Pacific Avenue area. Studio Drive is a narrow, residential street developed with homes on the beach side. There are many street ends and narrow corridors improved with stairways down the bluff. At the far northern end of Studio Drive, there is additional parking and access to Morro Strand State Beach. At the far southern end of this street, there is an unimproved dirt path to the beach. There are many lateral and vertical access easements in the Studio Drive neighborhood, but only a few offers-to-dedicate lateral or vertical access that have not yet been accepted.

Existing vertical access is provided primarily by the parking area at the north end of Studio Drive for Morro Strand State Beach, and by the many street ends and corridors along Studio Drive. Many of these corridors are improved, but parking is very limited. Desirable improvements include installing signs in the parking area for Morro Strand state Beach, developing the unimproved street ends and corridors along Studio Drive, and providing off-street parking for access stairways. Improvement of the dirt path at the south end of Studio Drive should also be considered.

Table E-1 and Maps, Coastal Access Inventory

GENERAL NOTE:

COASTAL ACCESSWAYS ARE NOT AVAILABLE FOR PUBLIC USE UNTIL A PUBLIC AGENCY OR PRIVATE ASSOCIATION APPROVED BY THE COUNTY AGREES TO ACCEPT RESPONSIBILITY FOR MAINTENANCE AND LIABILITY OF THE ACCESSWAY. OFFERS OF DEDICATION MAY HAVE INTERIM DEED RESTRICTIONS THAT RESTRICT THE PROPERTY OWNER FROM INTERFERING WITH PRE-EXISTING USE BY THE PUBLIC AND REQUIRE THAT THE AREA OFFERED FOR DEDICATION REMAIN OPEN AND UNOBSTRUCTED DURING THE PERIOD WHEN THE OFFER IS OUTSTANDING.

NOTE ABOUT THE TABLE:

"Accepted" in the "Status" column of the table means that an offer of dedication was accepted by a public agency or private association approved by the county, and is considered an easement.

Estero Portion of the Coastal Access Plan:			
Inventory & Map Key Ordered North to South			
Assessor Parcel No.	Access	Type/Location	Status
Coastal Access Plan: Rural Estero Map 6			
046-151-004; 046-161-006,008; 046-171-010	Lateral/Vertical	Public: Estero Bluffs. 6405 Cabrillo Hwy, Cayucos	State Park
065-022-006,007; 073-075-012,013; 073-092-021	Lateral	OTD: 0000 SW Hwy 1 (CHEVRON Properties), Cayucos	Accepted
Coastal Access Plan: Cayucos Map 6A			
064-484-006,007,008	Lateral	OTD:: 771 & 773 N. Ocean Ave., Cayucos	Accepted
064481-015	Lateral	OTD: 765 North Ocean Ave., Cayucos	Offer Verified
064481-016	Lateral	OTD: 755 North Ocean Ave., Cayucos	Offer Verified
064- 281-020	Lateral	OID: 611 Lucerne Rd. Cayucos	Accepted
064-282-018,019,020,021	Lateral	OTD: 605, 607, 609 Lucerne Rd., Cayucos	Accepted
064-281-024	Lateral	OTD: 593 Lucerne Rd., Cayucos	Offer Verified
064-282-001,002,003,004,005,006,011	Lateral/Vertical	OTD: 543, 547, 551, 557, 561, 565 Lucerne Rd., Cayucos	Accepted
064-282-013,014,015,016,017	Lateral	OTD: 531,533.535 & 537 Lucerne Rd., Cayucos	Accepted
064-282-007,008,009,010,012	Lateral	OTD: 517,521,525 & 529 Lucerne Rd.. Cayucos	Accepted
064-282-026	Lateral	OTD: 507 Lucerne Rd., Cayucos	Accepted
064-281-022	Lateral	OTD: 491 Lucerne Rd., Cayucos	Offer Verified
064-281-013	Lateral	OTD: 463 Lucerne Rd., Cayucos	Accepted
064-281-012	Lateral	OTD: 447 Lucerne Rd., Cayucos	Accepted
064482-031	Lateral	OTD: 349 N. Ocean Ave., Cayucos	Accepted
064-101-001; 064-091-001, 064-115-011; 064-116-007	Lateral/Vertical	Public: Cayucos County Beach. Extends from north of Cayucos Ave. to south of E St., Cayucos	State Beach
064-094-014	Vertical	Street End: Cayucos Dr. South of 149 Cayucos Dr., Cayucos	Developed
064-115-011	Vertical	Street End: D St South of 158 Ocean Front St., Cayucos	Accepted
Coastal Access Plan: Cayucos Map 6B			
064-116-009	Vertical	Street End: E Street. North of 6 Ocean Front St., Cayucos	Accepted
064-121-004	Lateral	OTD: 72 Pacific Ave., Cayucos	Offer Verified
064-121-008	Lateral	OTD: 92 Pacific Ave., Cayucos	Accepted
064-121-009	Lateral	OTD: 98 Pacific Ave., Cayucos	Accepted
064-121-033	Lateral	OTD: 100 Pacific Ave., Cayucos	Accepted
064-121-034,035	Lateral	OTD: 100, 102 Pacific Ave., Cayucos	Accepted
064-121-027	Vertical	Street End: First St. South of 126 Pacific Ave., Cayucos	Developed

Assessor Parcel No.	Access	Type/Location	Status
064-121-021	Lateral	OTD: 174 Pacific Ave., Cayucos	Accepted
064-121-023	Lateral	OTD: 198 Pacific Ave., Cayucos	Accepted
064-121-032	Lateral	OTD: 220 Pacific Ave., Cayucos	Accepted
064-121-031	Lateral	OTD: 236 Pacific Ave., Cayucos	Accepted
064-121-015	Lateral	OTD: 238 B Pacific Ave., Cayucos	Accepted
064-121-016	Lateral	OTD: 268 Pacific Ave., Cayucos	Accepted
064-121-036	Lateral	OTD: 296 Pacific Ave., Cayucos	Accepted
064-121-036	Vertical	Street End: North Third S1. South of 296 Pacific Ave., Cayucos	Developed
064-147-001	Lateral/Vertical	Public: Paul Andrew Park. Seaward of Pacific Ave between North 3rd and South 3rd Streets., Cayucos	County Park
064-147-001	Vertical	Street End: South Third S1. North of 302 Pacific Ave., Cayucos	Developed
064-148-015	Lateral	OTD: 326 Pacific Ave., Cayucos	Accepted
064-148-016	Lateral	OTD: 350 Pacific Ave., Cayucos	Accepted
064-148-014	Lateral	OTD: 374 Pacific Ave., Cayucos	Accepted
064-148-017	Lateral	OTD: 454 Pacific Ave., Cayucos	Offer Verified
064-148-008	Vertical	Street End: Sixth S1. South of 560 Pacific Ave., Cayucos	Developed
064-149-007	Lateral	OTD: 702 Pacific Ave., Cayucos	Accepted
064-149-011	Lateral	OTD: 802 Pacific Ave., Cayucos	Accepted
064-149-011	Vertical	Street End: Eighth St. South of 802 Pacific Ave., Cayucos	Developed
064-151-007	Lateral	OTD: 930 Pacific Ave., Cayucos	Offer Verified
064-151-008	Lateral	OTD: 950 Pacific Ave., Cayucos	Accepted
064-151-009	Lateral	OTD: 974 Pacific Ave., Cayucos	Offer Verified
064-151-011	Vertical	Street End: Tenth S1. 1000 Pacific Ave., Cayucos	Developed
064-151-019	Lateral	OTD: 1010 Pacific Ave., Cayucos	Accepted
064-151-020	Lateral	OTD: 1036 Pacific Ave., Cayucos	Accepted
064-151-015	Lateral	OTD: 1084 Pacific Ave., Cayucos	Accepted
064-227-002	Lateral	OTD: 1136 Pacific Ave., Cayucos	Accepted
064-227-004	Lateral	OTD: 1168 Pacific Ave., Cayucos	Accepted
064-227-004	Vertical	Street End: Twelfth S1. South of 1168 Pacific Ave., Cayucos	Developed
064-227-006	Lateral	OTD: 1210 Pacific Ave., Cayucos	Accepted
064-227-015	Lateral	OTD: 1424 Pacific Ave., Cayucos	Accepted
064-227-016	Lateral	OTD: 1450 Pacific Ave., Cayucos	Accepted
064-227-021	Vertical	Street End: Sixteenth S1. South of 1600 Pacific Ave., Cayucos	Developed
064-236-001	Lateral	OTD: 1602 Pacific Ave., Cayucos	Accepted
064- 236-005	Lateral	OTD: 1702 Pacific Ave., Cayucos	Accepted
064-236-013	Lateral	OTD: 1786 Pacific Ave., Cayucos	Accepted
064-236-014	Lateral	OTD: 1798 Pacific Ave., Cayucos	Accepted
064-236-012	Vertical	Street End: Nineteenth S1. South of 1864 Pacific Ave., Cayucos	Developed
064- 241-00 1	Lateral	OTD: 1864 Pacific Ave., Cayucos	Accepted
064-241-002	Lateral	OTD: 1900 Pacific Ave., Cayucos	Accepted

Assessor Parcel No.	Access	Type/Location	Status
064-241-012	Vertical	Street End: Twenty-first St. South of 2146 Pacific Ave., Cayucos	Developed
064-241-038; 064-242-005; 064-243-022; 064-244-001; 073-093-001	Lateral/Vertical	Public: Morro Strand State Beach. End of 24th St., Cayucos	State Beach
Coastal Access Plan: Cayucos Map 6C			
064-253-005	Lateral	OTD: 2616 Studio Dr., Cayucos	Accepted
064-253-005	Vertical	Street End: Studio Drive North. Way south of 2616 Studio Drive North, Cayucos	Accepted
064-254-014	Lateral	OTD: 2618 Studio Dr., Cayucos	Offer Verified
064-254-017	Lateral	OTD: 2628 Studio Dr., Cayucos	Accepted
064-254-022,023	Lateral	OTD: 2680, 2684 Studio Dr., Cayucos	Accepted
064-254-019	Lateral	OTD: 2686 Studio Dr., Cayucos	Accepted
064- 254-002	Lateral	OTD: 2692 Studio Dr., Cayucos	Accepted
064-254-001	Lateral	OTD: 2698 Studio Dr., Cayucos	Accepted
064-254-001	Vertical	Street End: Studio Drive South. Way south of 2698 Studio Dr. South, Cayucos	Accepted
064-255-013	Lateral	OTD: 2704 Studio Dr., Cayucos	Accepted
064-255-012	Lateral	OTD: 2712 Studio Dr., Cayucos	Accepted
064-255-011	Lateral	OTD: 2716 Studio Dr., Cayucos	Accepted
064-255-010	Lateral	OTD: 2728 Studio Dr., Cayucos	Accepted
064-255-007	Lateral	OTD: 2744 Studio Dr., Cayucos	Accepted
064-255-016	Vertical	Street End: King St. Way south of 2792 Studio Dr., Cayucos	Developed
064-274-011	Lateral	OTD: 2806 Studio Dr., Cayucos	Accepted
064-274-002	Lateral	OTD: 2874 Studio Dr., Cayucos	Accepted
064-274-001	Lateral	OTD: 2886 Studio Dr., Cayucos	Offer Verified
064-275-036	Lateral	OTD: 2900 Studio Dr., Cayucos	Accepted
064-275-013	Lateral	OTD: 2936 Studio Dr., Cayucos	Accepted
064-275-034	Lateral	OTD: 2948 Studio Dr., Cayucos	Accepted
064-417-018	Vertical	Street End: Gracia Ave. Street end way. North of 3142 Studio Dr., Cayucos	Developed
064-417 -028	Lateral	OTD: 3114 Studio Dr., Cayucos	Accepted
064-417 -0 13	Lateral	OTD: 3146 Studio Dr., Cayucos	Accepted
064-417-023	Lateral	OID: 3154 Studio Dr., Cayucos	Accepted
064-417 -025,026	Lateral	OTD: 3168, 3180 Studio Dr., Cayucos	Accepted
064-417-027	Lateral	OTD: 3174 Studio Dr., Cayucos	Accepted
064-417 -010	Lateral	OTD: 3190 Studio Dr., Cayucos	Accepted
064-417-009	Lateral	OTD: 3194 Studio Dr., Cayucos	Accepted
064-417 -009	Vertical	Street End: El Sereno S1. North of 3212 Studio Dr., Cayucos	Developed
064-417 -00 1	Vertical	Street End: Coronado S1. South of 3266 Studio Dr., Cayucos	Developed
064-421-001	Vertical	Street End: Acacia S1. South of 3336 Studio Dr., Cayucos	Accepted
064-422-006	Lateral	OTD: 3380 Studio Dr., Cayucos	Accepted
064-422-001	Vertical	Street End: Mayer S1. South of 3430 Studio Dr., Cayucos	Developed

Assessor Parcel No.	Access	Type/Location	Status
064-449-022	Lateral	OTD: 3476 Studio Dr., Cayucos	Accepted
064-449-022	Vertical	Street End: Mannix St. South of 3476 Studio Dr., Cayucos	Developed
064-449-015	Lateral	OTD: 3520 Studio Dr., Cayucos	Accepted
064-449-013	Vertical	Street End: Cody St. South of 3540 Studio Dr., Cayucos	Developed
064-449-009	Lateral	OTD: 3590 Studio Dr., Cayucos	Accepted
064-449-008	Lateral	OTD: 3596 Studio Dr., Cayucos	Accepted
064-449-007	Lateral	OTD: 3600 Studio Dr., Cayucos	Accepted
064-449-033	Vertical	Street End: Crawford St South of 3630 Studio Dr., Cayucos	Developed
064-449-004	Lateral	OTD: 3650 Studio Dr., Cayucos	Accepted
064-449-003	Lateral	OTD: 3660 Studio Dr., Cayucos	Accepted
064-449-002	Lateral	OTD: 3670 Studio Dr., Cayucos	Accepted
065-022-006,007; 073-075-012,013; 073-092-021	Lateral	OTD: 0000 SW Hwy 1 (CHEVRON Properties), Cayucos	Accepted
Coastal Access Plan: Rural Estero Map 7			
065-022-006,007; 073-075-012,013; 073-092-021	Lateral	OTD: 0000 SW Hwy 1 (CHEVRON Properties), Cayucos	Accepted
065-351-002; 065-082-020; 065-101-001; 065-102-001; 065-152-002,004,011; 065-182-002; 065-211-001,021; 065-212-001,011; 065-213-001; 065-231-001,006; 065-386-001; 066-331-028,034; 066-461-011	Lateral/Vertical	Public: Atascadero State Beach.	State Beach I
073-171-006,009,027,032,033; 067-	Lateral/Vertical	Public: Morro Bay State Park. Between Morro Bay and Los Osos	State Park
011-036,043,044; 066-381-003; 073-121-026; 038-711-011,035,036,037,038; 038-721-014			I



Coastal Access Master Plan: Rural Estero Map 6

Offers to Dedicate

Lateral

- Accepted
- Offer verified

Vertical/Street End

- Accepted & developed
- Accepted
- Offer verified

Overlook

- Accepted & developed
- Accepted
- Offer verified

Additional Resources

Public Land

- Public/Non-profit
- CalTrans Vista Point
- Other County easement

Trail Dedication

- Developed
- Accepted

Historic Use

- Lateral
- Vertical

Other

- Deed restriction
- Proposed vertical

County of San Luis Obispo






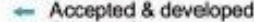


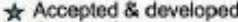



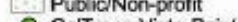

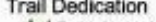
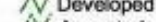



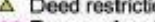
General Services
Parks Division



<p>Coastal Access Master Plan: Cayucos Map 6A</p> <p>Offers to Dedicate</p> <p>Lateral</p> <ul style="list-style-type: none"> Accepted Offer verified <p>Vertical/Street End</p> <ul style="list-style-type: none"> Accepted & developed Accepted Offer verified <p>Overlook</p> <ul style="list-style-type: none"> Accepted & developed Accepted Offer verified 			<p>County of San Luis Obispo</p> <p>General Services Parks Division</p>
<p>Additional Resources</p> <p>Public Land</p> <ul style="list-style-type: none"> Public/Non-profit CalTrans Vista Point Other County easement <p>Trail Dedication</p> <ul style="list-style-type: none"> Developed Accepted <p>Historic Use</p> <ul style="list-style-type: none"> Lateral Vertical <p>Other</p> <ul style="list-style-type: none"> Deed restriction Proposed vertical 			

Author: Sara Kocher Consulting. Sources: County Parks Division, County Mapping & Graphics Division, Berkeley Maps



Coastal Access Master Plan: Cayucos Map 6B			County of San Luis Obispo  General Services Parks Division
Offers to Dedicate			
Lateral  Accepted  Offer verified	Vertical/Street End  Accepted & developed  Accepted  Offer verified	Overlook  Accepted & developed  Accepted  Offer verified	
Additional Resources			
Public Land  Public/Non-profit  CalTrans Vista Point  Other County easement	Trail Dedication  Developed  Accepted	Historic Use  Lateral  Vertical	Other  Deed restriction  Proposed vertical

Author: Sara Kocher Consulting. Sources: County Parks Division, County Mapping & Graphics Division, Bercy Maps



Coastal Access Master Plan: Cayucos Map 6C

Offers to Dedicate

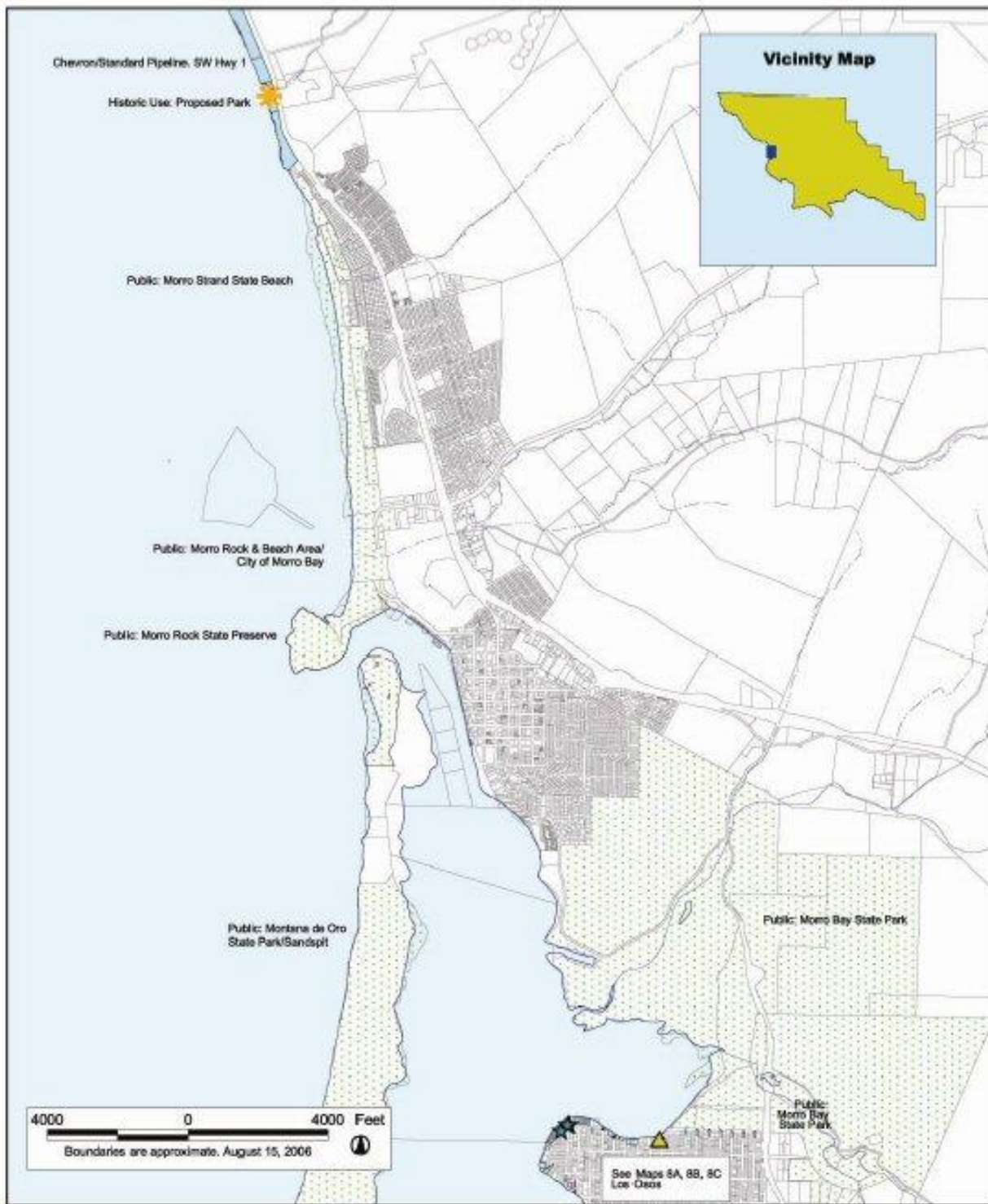
Lateral	Vertical/Street End	Overlook
Accepted	Accepted & developed	Accepted & developed
Offer verified	Accepted	Accepted
	Offer verified	Offer verified

Additional Resources

Public Land	Trail Dedication	Historic Use	Other
Public/Non-profit	Developed	Lateral	Deed restriction
CalTrans Vista Point	Accepted	Vertical	Proposed vertical
Other County easement			

County of San Luis Obispo
General Services Parks Division

Author: Sara Kocher Consulting. Sources: County Parks Division, County Mapping & Graphics Division, Barclay Maps



Coastal Access Master Plan: Rural Estero Map 7

Offers to Dedicate

Lateral

- Accepted
- Offer verified

Vertical/Street End

- Accepted & developed
- Accepted
- Offer verified

Overlook

- Accepted & developed
- Accepted
- Offer verified

Additional Resources

Public Land

- Public/Non-profit
- CalTrans Vista Point
- Other County easement

Trail Dedication

- Developed
- Accepted

Historic Use

- Lateral
- Vertical

Other

- Deed restriction
- Proposed vertical

County of San Luis Obispo



General Services Parks Division

Author: Sara Kocher Consulting. Sources: County Parks Division, County Mapping & Graphics Division, Barclay Maps

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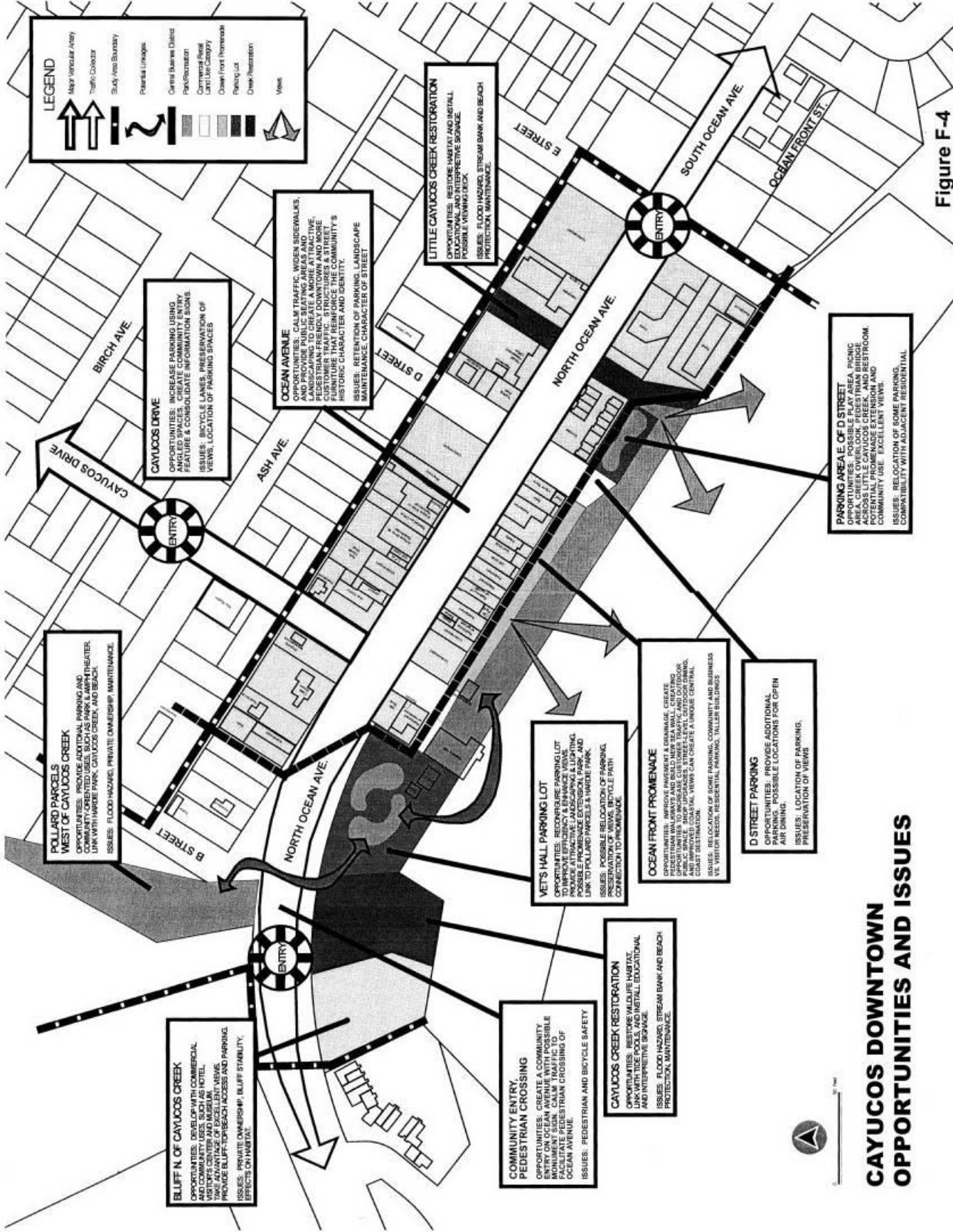
APPENDIX E: CONCEPT PLANS

FIGURE F-4: CAYUCOS DOWNTOWN OPPORTUNITIES AND ISSUES

IMPORTANT NOTE ABOUT CONCEPT PLANS

The plan in the following Figure F-4 is conceptual in nature. It is intended to illustrate certain design principles that are described in this plan. The design concept shows one way, but not the only way, to achieve desired design principles. Specific improvements depicted in this plan are not required in connection with individual development proposals, except as may be required by the planning area standards in Chapter 7 of this plan.

The design and location of improvements illustrated in the concept plan are not exact, and are not to be construed as engineered plans. More detailed design work, including engineering studies, would be required before the improvements shown in this concept plan could actually be built. As a result, changes to the concept plan might be needed.



LEGEND

- Major Vehicular Artery
- Traffic Corridor
- Slack Area Boundary
- Parental Linings
- Central Business District
- Park/Recreation
- Landmark/History
- Overlaid from Homebased
- Parking Lot
- Creek Restoration
- Views

POLLARD PARCELS WEST OF CAYUCOS CREEK
 OPPORTUNITIES: PROVIDE ADDITIONAL PARKING AND COMMUNITY USES, SUCH AS PARK, LAUNDRY, THEATER, OR WITH LARGE PARK, CAYUCOS CREEK, AND BEACH.
 ISSUES: FLOOD HAZARD, PRIVATE OWNERSHIP, MAINTENANCE.

BLUFF N. OF CAYUCOS CREEK
 OPPORTUNITIES: DEVELOP WITH COMMERCIAL AND COMMUNITY USES, SUCH AS HOTEL, TAKE ADVANTAGE OF EXCELLENT VIEWS, PROVIDE BLUFF-TOP BEACH ACCESS AND PARKING, EFFECTS ON HABITAT.

CAYUCOS DRIVE
 OPPORTUNITIES: INCREASE PARKING USING ANGLED SPACES, CREATE COMMUNITY ENTRY FEATURE & CONSOLIDATE INFORMATION SIGNS.
 ISSUES: BICYCLE LANES, PRESERVATION OF VIEWS, LOCATION OF PARKING SPACES.

OCEAN AVENUE
 OPPORTUNITIES: CALM TRAFFIC, WIDEN SIDEWALKS, AND PROVIDE PUBLIC SEATING AREAS AND TIME PEDESTRIAN-FRIENDLY DOWNTOWN AND MORE CUSTOMER-FRIENDLY STOREFRONTS & STREET ISSUES: RETENTION OF PARKING, LANDSCAPE MAINTENANCE, CHARACTER OF STREET.

LITTLE CAYUCOS CREEK RESTORATION
 OPPORTUNITIES: RESTORE HABITAT AND INSTALL EDUCATIONAL AND INTERPRETIVE SIGNS, POSSIBLE VIEWING DECK.
 ISSUES: FLOOD HAZARD, STREAM BANK AND BEACH PROTECTION, MAINTENANCE.

COMMUNITY ENTRY, PEDESTRIAN CROSSING
 OPPORTUNITIES: CREATE A COMMUNITY ENTRY ON OCEAN AVENUE WITH POSSIBLE MONUMENT SIGN, CALM TRAFFIC TO OCEAN AVENUE, PEDESTRIAN CROSSING OF OCEAN AVENUE.
 ISSUES: PEDESTRIAN AND BICYCLE SAFETY.

CAYUCOS CREEK RESTORATION
 OPPORTUNITIES: RESTORE WILDLIFE HABITAT LINK WITH TIDE POOLS AND INSTALL EDUCATIONAL AND INTERPRETIVE SIGNS.
 ISSUES: FLOOD HAZARD, STREAM BANK AND BEACH PROTECTION, MAINTENANCE.

VET'S HALL PARKING LOT
 OPPORTUNITIES: RECONFIGURE PARKING LOT TO IMPROVE VISIBILITY AND SIGNAGE, ALLOCATE POSSIBLE PROMENADE EXTENSION, PARK, AND LINK TO POLLARD PARCELS & HARBOUR PARK.
 ISSUES: POSSIBLE RELOCATION OF PARKING, PRESERVATION OF DRIVE, BICYCLE PATH CONNECTION TO PROMENADE.

OCEAN FRONT PROMENADE
 OPPORTUNITIES: IMPROVE SIGNAGE, CREATE PEDESTRIAN WALKWAYS AND BOARD WALK SEAWALL, CREATING PUBLIC SPACE, IMPROVE VISIBILITY AND SIGNAGE, AND IMPROVED COASTAL VIEWS CAN CREATE A UNIQUE CENTRAL VE. VISITOR NEEDS, RESIDENTIAL PARKING, TALLER BUILDINGS.

D STREET PARKING
 OPPORTUNITIES: PROVIDE ADDITIONAL PARKING, POSSIBLE LOCATIONS FOR OPEN AIR DINING.
 ISSUES: LOCATION OF PARKING, PRESERVATION OF VIEWS.

PARKING AREA OF D STREET
 OPPORTUNITIES: POSSIBLE PLAY AREA, PICNIC ACROSS LITTLE CAYUCOS CREEK, AND RESTROOM, POTENTIAL PROMENADE EXTENSION AND COMMUNITY USE, EXCELLENT VIEWS.
 ISSUES: RELOCATION OF SOME PARKING, COMPATIBILITY WITH ADJACENT RESIDENTIAL.

CAYUCOS DOWNTOWN OPPORTUNITIES AND ISSUES

Figure F-4

APPENDIX F: SLOPE STABILITY ANALYSIS

Slope Stability and Bluff Erosion Rate Determination Requirements

Quantitative slope stability analyses and erosion rate estimates shall be undertaken as follows:

1. The analyses shall demonstrate a factor of safety greater than or equal to 1.5 for the static condition and greater than or equal to 1.1 for the seismic condition. Seismic analyses may be performed by the pseudostatic method, but in any case shall demonstrate a permanent displacement of less than 50 mm.
2. Slope stability analyses shall be undertaken through cross-sections modeling worst case geologic and slope gradient conditions. Analyses shall include postulated failure surfaces such that both the overall stability of the slope and the stability of the surficial units are examined.
3. The effects of earthquakes on slope stability (seismic stability) may be addressed through pseudostatic slope analyses assuming a horizontal seismic coefficient of 0.20g, and should be evaluated in conformance with the guidelines published by the American Society of Civil Engineers, (ASCE/SCEC), “Recommended Practices for Implementation of DMS Special Publication 117, Conditions for Analyzing and Mitigating Landslide Hazards in California.”
4. All slope analyses shall be performed using shear strength parameters (friction angle and cohesion), and unit weights determined from relatively undisturbed samples collected at the site. The choice of shear strength parameters shall be supported by direct shear tests, triaxial shear test, or literature references.
5. All slope stability analyses shall be undertaken with water table or potentiometric surfaces for the highest potential ground water conditions.
6. If anisotropic conditions are assumed for any geologic unit, strike and dip of weakness planes shall be provided, and shear strength parameters for each orientation shall be supported by reference to pertinent direct shear tests, triaxial shear test, or literature.
7. When planes of weakness are oriented normal to the slope or dip into the slope, or when the strength of materials is considered homogenous, circular failure surfaces shall be sought through a search routine to analyze the factor of safety along postulated critical failure surfaces. In general, methods that satisfy both force and moment equilibrium (e.g., Spencer, Morgenstern-Price, and General Limit Equilibrium) are preferred. Methods based on moment equilibrium alone (e.g., Bishop’s Method) also are acceptable. In general, methods that solve only for force equilibrium (e.g., Janbu’s method) are discouraged due to their sensitivity to the ratio of normal to shear forces between slices.
8. If anisotropic conditions are assumed for units containing critical failure surfaces determined above, and when planes of weakness are inclined at angles ranging from nearly parallel to the slope to dipping out of slope, factors of safety for translational failure surfaces shall also be calculated. The use of a block failure model shall be supported by geologic evidence for anisotropy in rock or soil strength. Shear strength parameters for

such weak surfaces shall be supported through direct shear tests, triaxial shear test, or literature references.

9. The selection of shear strength values is a critical component to the evaluation of slope stability. Reference should be made to the ASCE/SCEC guidelines (see Section 9.4.D.3) when selecting shear strength parameters and the selection should be based on these guidelines. Generally, one of two conditions will exist:
 - a. If the bluff exhibits a factor of safety of less than 1.5 for either gross or surficial landsliding, then the location on the bluff top at which a 1.5 factor of safety exists shall be determined. Development shall be set back a minimum distance equal to the distance from the bluff edge to the 1.5 factor-of-safety-line, plus the distance that the bluff might reasonably be expected to erode over 100 years. These determinations, to be made by a state-licensed Certified Engineer Geologist, Registered Civil Engineer, or Geotechnical Engineer, shall be based on a site-specific evaluation of the long-term bluff retreat rate at this site and shall include an allowance for possible acceleration of historic bluff retreat rates due to sea level rise.
 - b. If the bluff exhibits both a gross and surficial factor of safety against landsliding of greater than 1.5, then development shall be set back a minimum distance equal to the distance that the bluff might reasonably be expected to erode over 100 years. The determination of the distance that the bluff might be expected to erode over 100 years is to be made by a state licensed Certified Engineer Geologist, Registered Civil Engineer or Geotechnical Engineer, and shall be based on a site-specific evaluation of the long-term bluff retreat rate at the site and shall include an allowance for possible acceleration of historic bluff retreat rates due to sea level rise.

For the purpose of this section, the long-term average bluff retreat rate shall be determined by the examination of historic records, surveys, aerial photographs, published or unpublished studies, or other evidence that unequivocally show the location of the bluff edge, as defined below, through time. The long-term bluff retreat rate is an historic average that accounts both for periods of exceptionally high bluff retreat, such as during extreme storm events, and for long periods of relatively little or no bluff retreat. Accordingly, the time span used to calculate a site-specific long-term bluff retreat rate shall be as long as possible, but in no case less than 50 years. Further, the time interval examined shall include the strong El Niño winters of 1982-1983, 1994-1995 and 1997-1998.